



ST. CLAIR CATHOLIC
DISTRICT SCHOOL BOARD
Lighting the Way ~ Rejoicing in Our Journey

ADDENDUM # 001

ST. CLAIR CATHOLIC DISTRICT SCHOOL BOARD
ST. JOHN FISHER CATHOLIC SCHOOL

44 MAIN STREET, FOREST, ONTARIO

TENDER NO.: 632-CP1505

RWAI Project No. 1505

Documents prepared by:

St. Clair Catholic District School Board

AND

Randy Wilson Architect Inc.
Suite 1Q, 280 Queens Avenue
London, Ontario N6B 1X3

Issue Date:
Wednesday May 13, 2015

This addendum forms part of the Contract Documents and amends the original drawings and specifications issued for Bid on April 14, 2015.

TABLE OF CONTENTS

ADDENDUM # 1 (Including cover)	3 Page(s)
Attached Mandatory Site Visit Attendance list	1 Page(s)
Bid Form	4 Page(s)
Architectural Drawings	4 Page(s)
Structural Drawings	3 Page(s)
Civil Drawings	1 sheet(s)
Landscape drawing L-1	1 Page(s)

TOTAL PAGE COUNT FOR THIS ADDENDUM	17 Page(s)
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PART A – GENERAL

1.1 Attached Mandatory Site Visit Attendance list

PART B – SPECIFICATIONS

- **INSTRUCTION TO BIDDERS**

- a. **1.03 BID DOCUMENTS**

- .4 Bids shall be received no later than **4:00 p.m. on Thursday, May 21, 2015**. local time as indicated on the timeclock of the SCCDSB Reception

- **BID FORM**

- 2) CASH ALLOWANCES**

- 1. Include Stipulated Sum of Three Thousand Dollars (\$3,000.00) to cover costs associated with re-location of the existing hardware at the South wall of the main entrance. Work to be done by JPW systems.

New BID FOR is attached

- **Section 07214 SPRAY FOAM INSULATION**

- 1- Delete Section 07214 SPRAY FOAM INSULATION

PART C – ARCHITECTURAL DRAWINGS

A000 –COVER SHEET

Refer to revision clouds and addendum 1 tags for changes to drawing.

A100 –FLOOR PLAN, DETAILS & INTERIOR ELEVATIONS

Refer to revision clouds and addendum 1 tags for changes to drawing.

A101 –ENLARGE FLOOR PLANS, INT. ELEVATIONS & DETAIL

Refer to revision clouds and addendum 1 tags for changes to drawing.

A102 –DEMOLITION PLAN, DEMOLITION NOTES

Refer to revision clouds and addendum 1 tags for changes to drawing.

PART D – STRUCTURAL DRAWINGS

- Attached please find drawings S101, S102 & S201

PART E – MECHANICAL / ELECTRICAL DRAWINGS

RESERVED

PART F – CIVIL DRAWINGS

- Attached please find drawings 6278-SP

PART G – LANDSCAPE DRAWINGS

- Attached please find drawing L-1

Architectural Sketches Included

N/A

END OF ADDENDUM # 001

Submitted By: _____

To: **St. Clair Catholic District School Board**

Project: No. 632-CP1505

Exterior and Interior Renovations

**St John Fisher Catholic School
44 Main Street
Forest, Ontario**

1) BID PRICE

The Drawings, Specifications and other Contract Documents for this Project have been examined, as well as the premises and job site conditions affecting the work. The undersigned hereby offers to complete the work in accordance with the Contract Documents for the following bid price, except as defined below for HST:

_____ Dollars (\$_____)

in Canadian funds EXCLUDING HST. HST will be added to the bid price.

In submitting this Bid, the undersigned recognizes and accepts the right of the Owner to accept any Bid, which is deemed the most advantageous to the Owner, (or any part thereof), at the price submitted, or to reject any or all Bids. Acceptance of the bid and/or award of the contract is subject to the approval of the **St. Clair Catholic District School Board**.

In the event that a discrepancy arises between the written bid price and the associated numerical price, the written bid price will be deemed to be correct.

Harmonized Sales Tax (HST)

The bidder shall not include the applicable HST in the bid price. The successful contractor will indicate on each application for payment as a separate amount the appropriate HST the Owner is obliged to pay.

2) CASH ALLOWANCES

1. Include Stipulated Sum of Three Thousand Dollars (\$3,000.00) to cover costs associated with re-location of the existing hardware at the South wall of the main entrance. Work to be done by JPW systems.

3) INSURANCE

The undersigned carries Policy # _____ with _____
in the following amounts:

- | | | |
|----|---|----------|
| 1. | Comprehensive General Insurance . . . | \$ _____ |
| 2. | Automobile Liability Insurance. | \$ _____ |

Provide a signed standard form provided by the Contractor's insurance company or broker stated its intention to provide insurance to the Bidder in accordance with the insurance requirements of the Contract Documents.

4) BONDING

The undersigned has provided with this bid the required Bonding and Surety as outlined in the Instruction to Bidders, Paragraph 1.08.

5) WORKPLACE SAFETY AND INSURANCE BOARD

The Bid package is to include a current Certificate of Good Standing from the Workplace Safety and Insurance Board (WSIB).

6) TIME OF COMPLETION

The undersigned hereby affirms and states that, if awarded the Contract for said work, the entire contract will be completed within the time frames as stated in the Instructions to Bidders, Paragraph 1.11.

7) SUMMARY

The undersigned agrees that the bid price shall remain in effect for a period of 60 (sixty) calendar days from the date of receipt of bids. The undersigned agrees to assume all increases in labour rates and material prices, taxes, duties, cost indexes, or any other rates that may develop during the life of this Contract.

8) DOCUMENTS AND INFORMATION

This Bid is based on the following:

1. Bid Form
2. Instructions to Bidders
3. General Conditions
4. Drawings/Sketches
5. Specifications

9) SCOPE OF WORK

Interior Renovation: Demolish part of existing block partitions, concrete slab, floor finish, and doors as indicated in drawings. New Handicap washroom, handrails and floor finish at stair and ramp. Provide plumbing services and electrical services as noted in the drawings. Install new flooring as indicated. Patch and repair all damaged walls and ceilings, paint rooms indicated in drawings and finish schedule. Install new LAT ceiling tiles and grid system in corridors as indicated in drawings.

Exterior Renovation: Site demolition, removal of tree, fixtures and appurtenances. New asphalt, paving, linework, and landscaping work as indicated on the drawings.

Relocation of existing shed. New canopy and new front entrance finishes as indicated in drawings.

10) **ADDENDA**

The undersigned acknowledges receipt of Addenda Numbers _____ through _____ inclusive, and that the price, or adjustment thereof, for all work required therein is included in this proposal.

11) **SEPARATE PRICES**

It is accepted that the intent of separate prices is to allow the Owner to add work outlined below, at the Owner's discretion.

The following prices have not been included in the base bid amount. The following prices include labour, material, tools, equipment, overhead and profit, but exclude HST.

Separate Price # 1 None at this time.

\$ _____

12) **ALTERNATE PRICES**

It is accepted that the intent of alternate prices is to allow the Owner to select alternate scope of work and prices as outlined below, at the Owner's discretion.

The following prices have not been included in the base bid amount. The following prices include labour, material, tools, equipment, overhead and profit, but exclude HST.

Alternate Price # 1 – None at this time.

Extra \$ _____ Credit \$ _____

(Complete only the appropriate value change)

13) **IDENTIFIED PRICES**

It is accepted that the intent of identified prices is to allow the Owner to identify cost for specific scope of work outlined below.

The following prices have been included in the base bid amount. The following prices include labour, material, tools, equipment, overhead and profit, but exclude HST.

Identified Price # 1 None at this time

\$ _____

14) **LIST OF SUBCONTRACTORS**

The following is the list of subcontractors to which reference is made on the submitted Bid Form.

No changes to the List of Subcontractors will be allowed without the Consultant's

express written permission.

List each subcontractor by his firm's proper legal designation, and indicate whether his business is carried on as an individual, partnership, or limited company.

The bidder submits that in proposing the listed subcontractors, he has consulted each and has ascertained to his complete satisfaction that those named are fully acquainted with the extent and nature of the work involved and of the proposed construction schedule, and that they will execute their work to conform to the requirements of the Contract Documents.

List of Subcontractors

Demolition _____

Millwork _____

Gypsum Wall Board and Acoustics _____

Flooring _____

Painting _____

15) EXECUTION OF CONTRACT

The Contract form will be a standard Canadian Construction Documents Committee (CCDC) #2 2008 - Stipulated Sum Contract.

SIGNATURE: _____

NAME PRINTED: _____

TITLE: _____

COMPANY: _____

ADDRESS: _____

PHONE: _____

FAX: _____

DATE: _____

END OF BID FORM

ST. CLAIR CATHOLIC DISTRICT SCHOOL BOARD ST. JOHN FISHER CATHOLIC SCHOOL

44 Main St, Forest, ON

SCCDSB PROJECT #: 632-CP-1505

ARCHITECT

RANDY WILSON ARCHITECT INCORPORATED
280 QUEENS AVE. SUITE 110,
LONDON, ONTARIO N6B 1X3
T: (519)439-0611
F: (519)438-5962

CIVIL CONSULTANTS

T.W. GRAY & ASSOCIATES ENGINEERING LTD.
301 FRONT STREET N,
SARNIA, ONTARIO
N7T 5S6
T: (519)336-0486
F: (519)336-5379

LANDSCAPE CONSULTANTS

RON KOUJYS LANDSCAPE ARCHITECTS INC.
368 OXFORD STREET EAST
LONDON, ONTARIO
N6A 1V7
T: (519)667-3322
F: (519)645-2474

1 DESIGN TEAM

SCALE = N.T.S.

2 DRAWING LIST

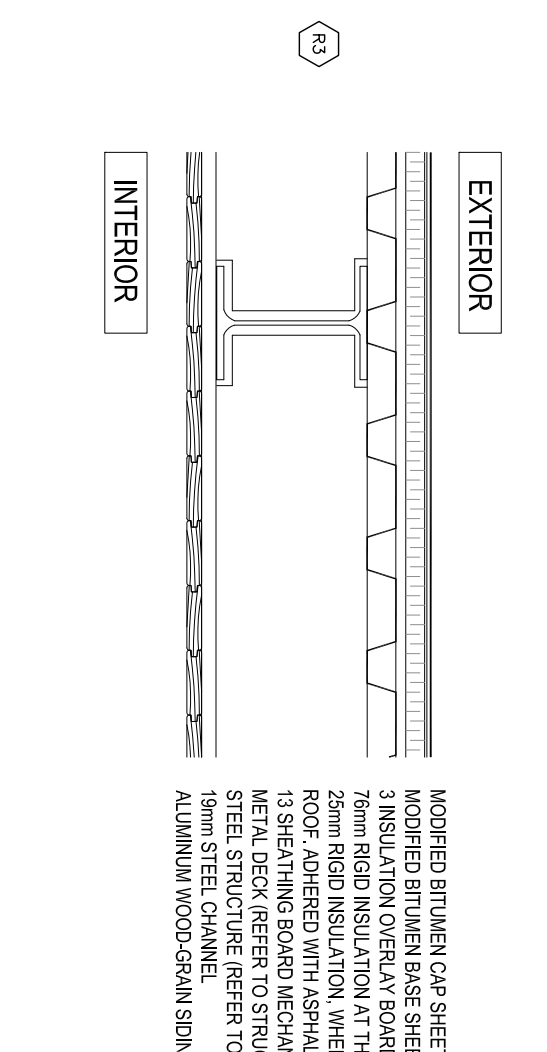
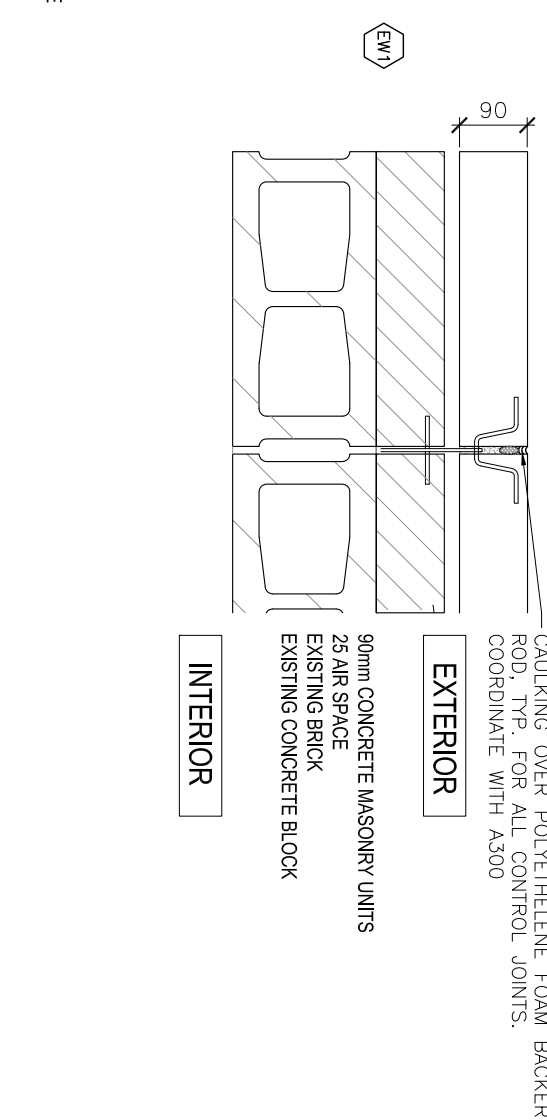
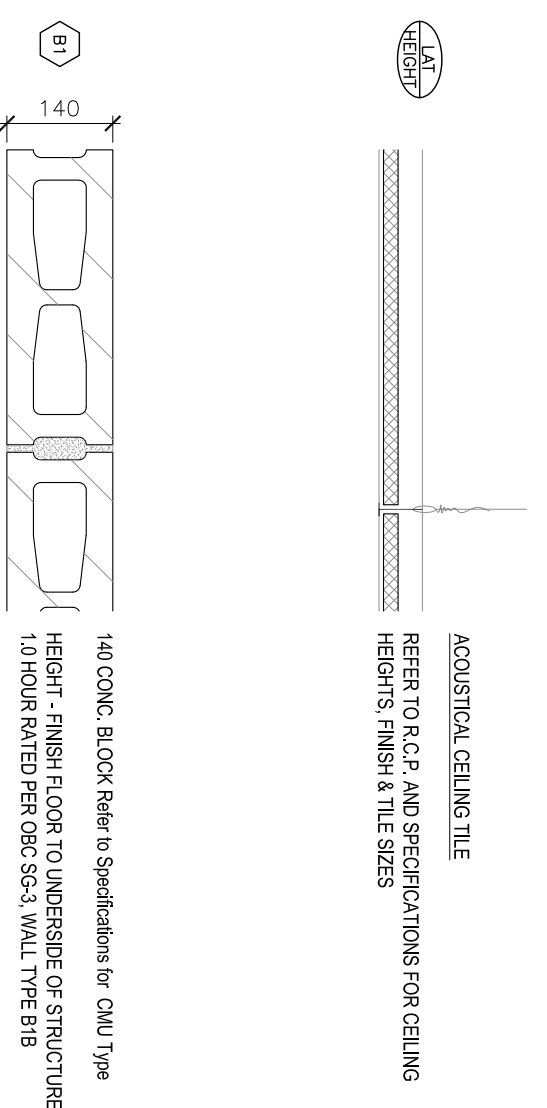
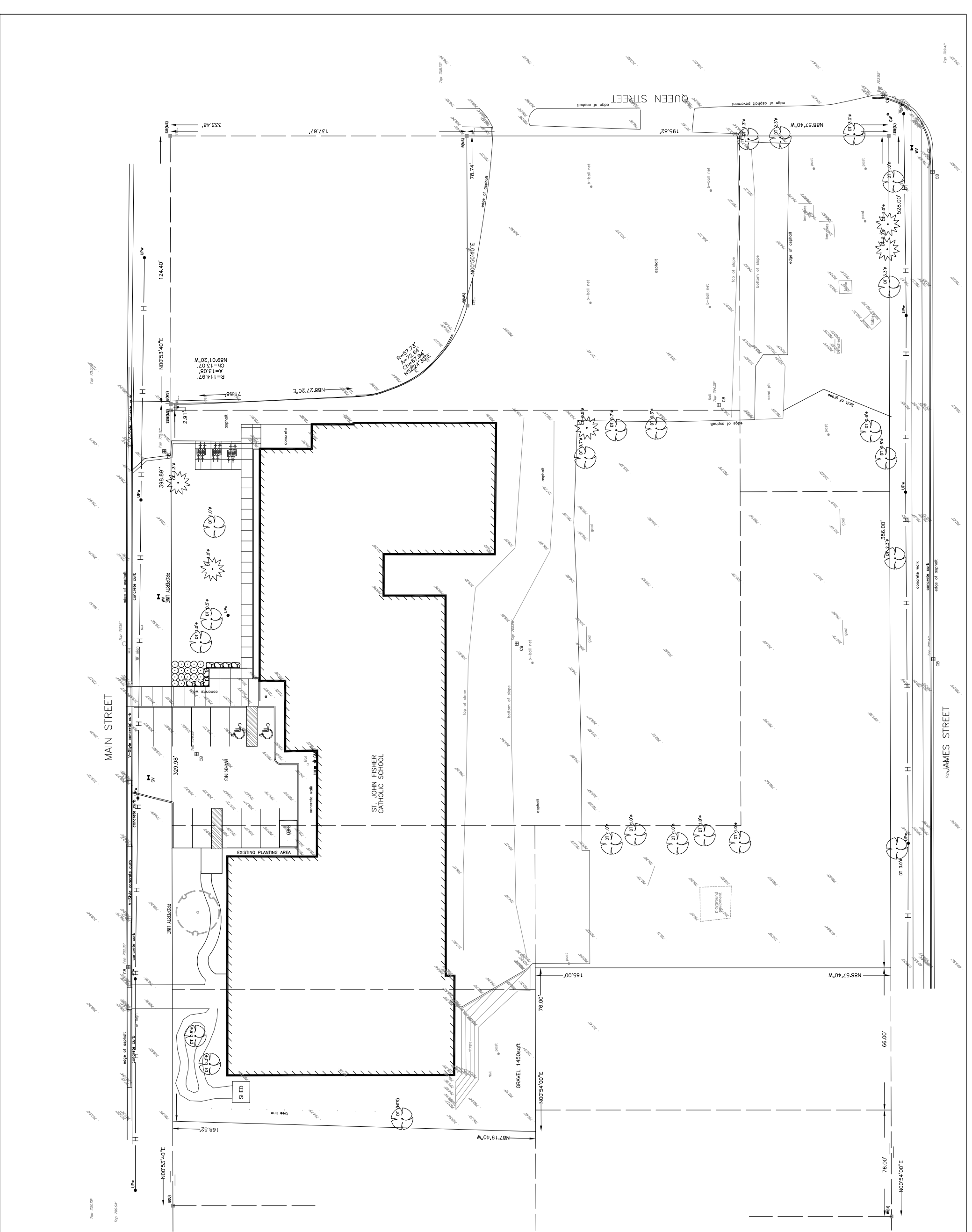
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- ARCHITECTURAL DRAWINGS
- A-000 COVER SHEET
 - A-100 FIRST FLOOR PLAN, DETAILS & INT. ELEVATIONS
 - A-101 ENLARGE FLOOR PLANS, INT. ELEVATIONS & DETAILS
 - A-102 DEMOLITION PLAN & NOTES
- STRUCTURAL DRAWINGS
- S-101 PART FOUNDATION PLAN
 - S-102 PART ROOF FRAMING PLAN
 - S-201 SECTIONS
- LANDSCAPE DRAWINGS
- L-1 LANDSCAPE PLAN
- CIVIL DRAWINGS
- SP SERVICING SITE PLAN

1

4 SITE PLAN

SCALE = 1:500



- NOTES:
1. ALL NEW CONCRETE BLOCK WALLS / PARTITIONS ARE TO RECEIVE BRICK APPLIED BLOCK FILER ROLLED TO BLOCK SURFACE TO MATCH EXISTING BLOCK SURFACE.
 2. TO MATCH EXISTING BLOCK SURFACE, BRICK APPLIED BLOCK FILER ROLLED TO BLOCK SURFACE TO MATCH EXISTING BLOCK SURFACE. BRICK APPLIED BLOCK FILER ROLLED TO BLOCK SURFACE TO MATCH EXISTING BLOCK SURFACE. BRICK APPLIED BLOCK FILER ROLLED TO BLOCK SURFACE TO MATCH EXISTING BLOCK SURFACE.
 3. ALL NEW CONCRETE BLOCK WALL INFILL TO BE ASSEMBLED WITH EXPOSED FACE FLUSH WITH EXISTING BLOCK WALL.

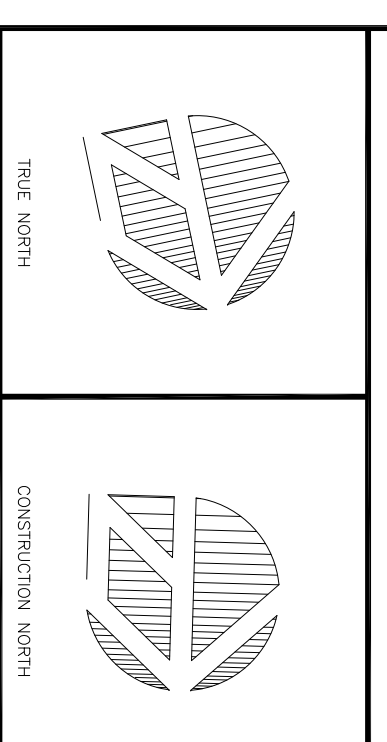
3 BUILDING ELEMENTS

SCALE = 1:10

RANDY WILSON ARCHITECT INCORPORATED
280 QUEENS AVENUE, SUITE 110
LONDON, ONTARIO N6B 1X3
T: 519-439-0611
F: 519-438-5962
e: randy@warchitect.ca
www.warchitect.ca



SITE LOCATION



KEY PLAN

NO.	DATE	DESCRIPTION
1	02/09/2015	ISSUED FOR TENDER
2	05-13-2015	ISSUE FOR ADDENDUM # 1

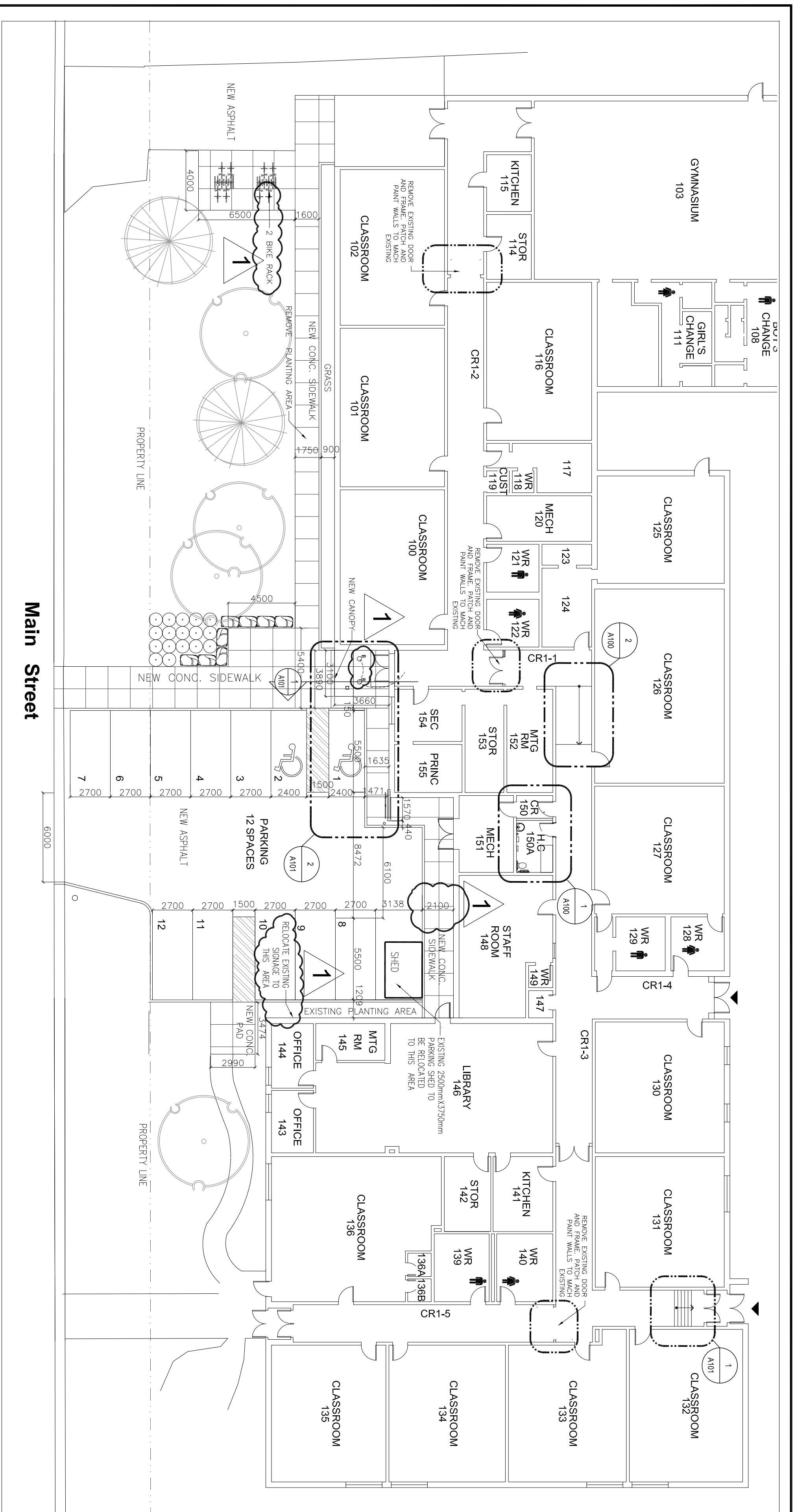
LEGEND

NO.	DATE	DESCRIPTION
1	02/09/2015	ISSUED FOR TENDER
2	05-13-2015	ISSUE FOR ADDENDUM # 1

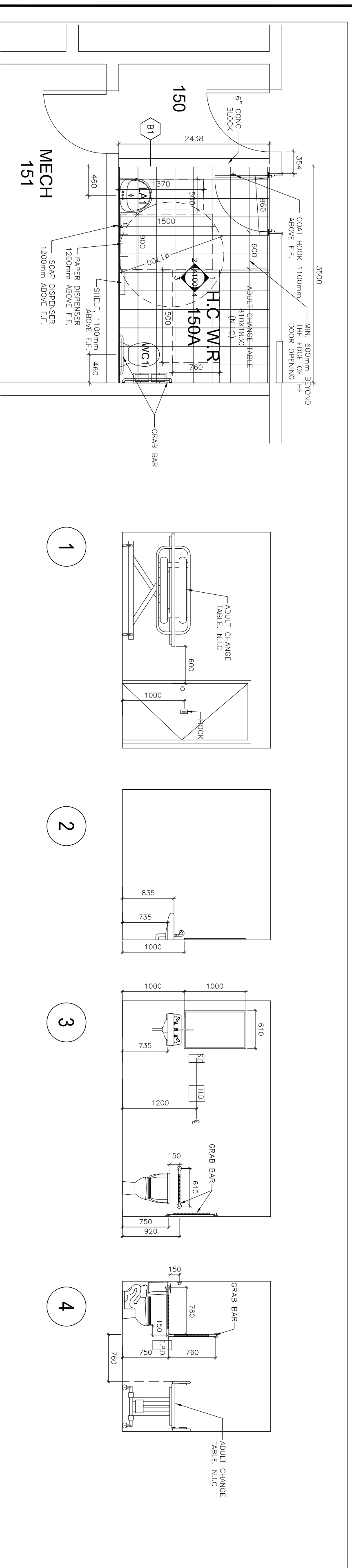
PROJECT TITLE
**ST. CLAIR CATHOLIC DISTRICT SCHOOL BOARD
ST. JOHN FISHER CATHOLIC SCHOOL**

COVER SHEET

DATE PLOTTED	DRAWN	DRAWING NO.
05-04-2015	SD/RW	
SCALE	CHECKED	
AS NOTED	S.D.	A000
PROJECT NO.		RMA-1505

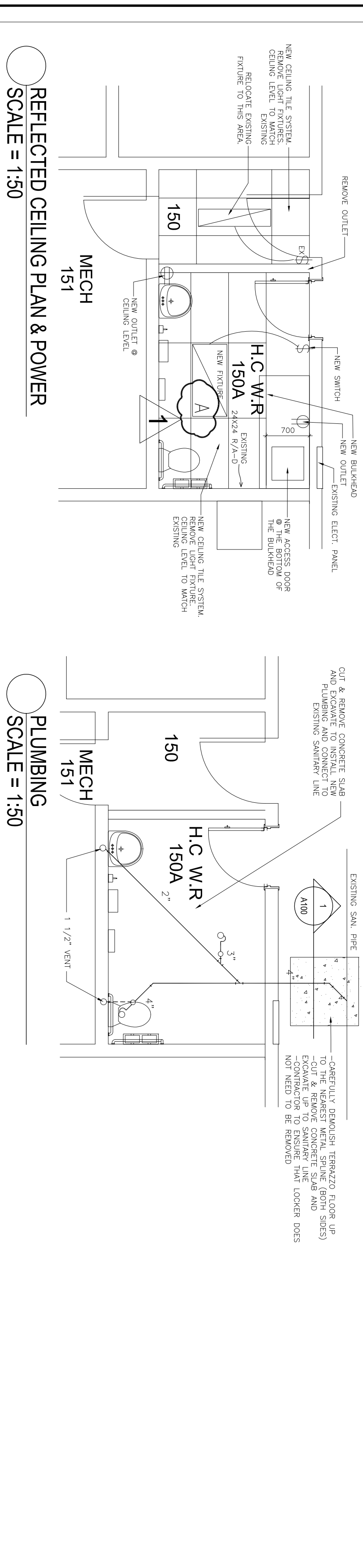
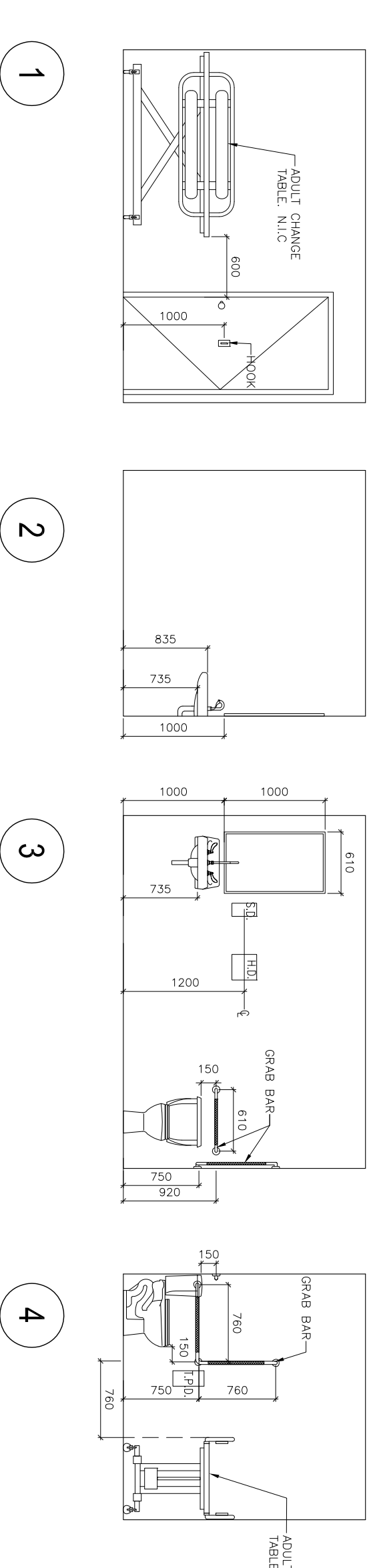


1 FIRST FLOOR PLAN
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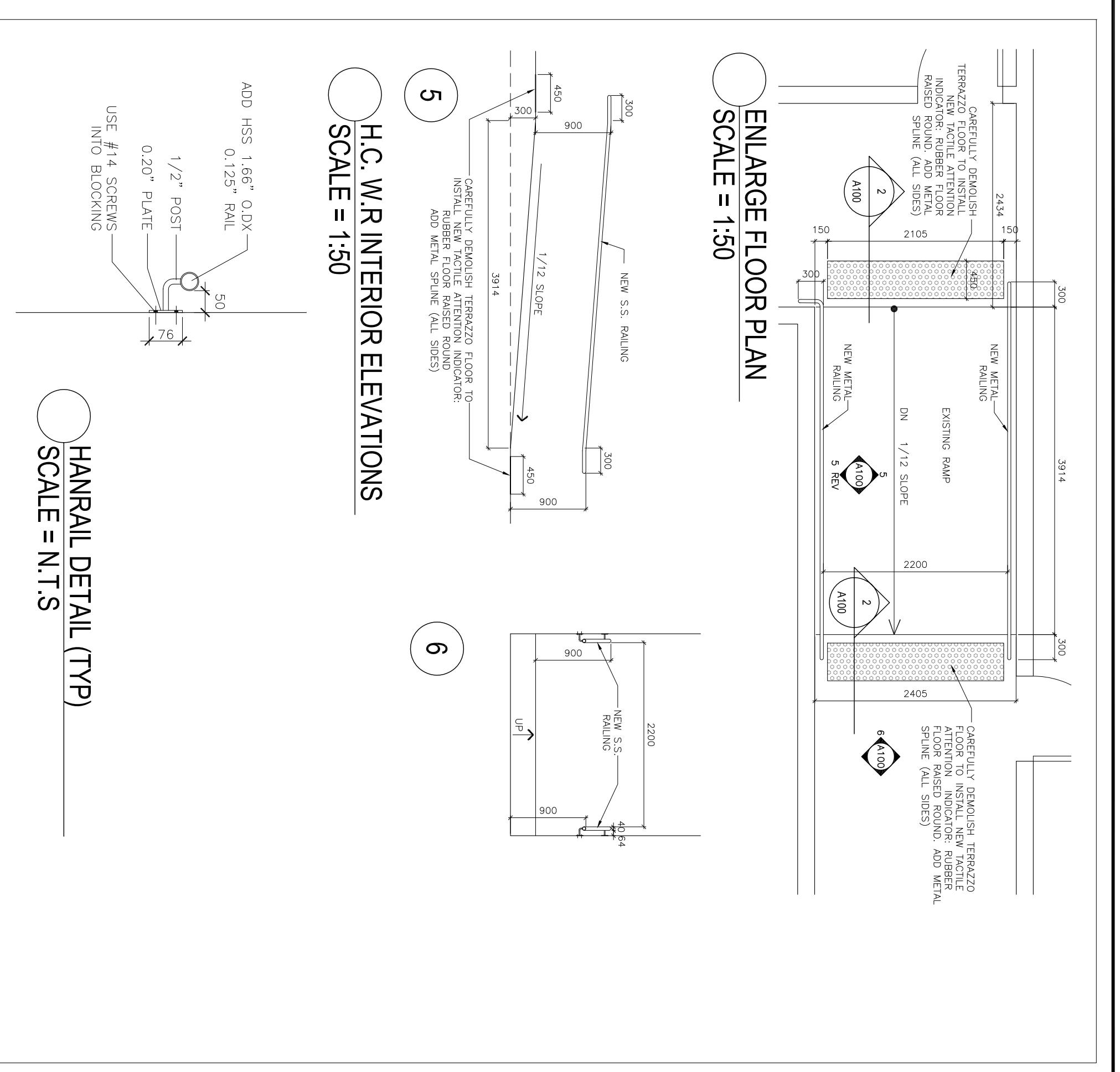
ENLARGE FLOOR PLAN
SCALE = 1:50

H.C. W.R. INTERIOR ELEVATIONS
SCALE = 1:50



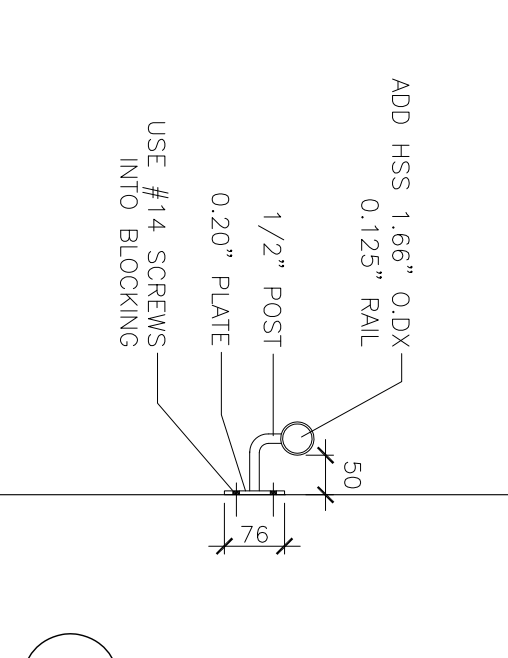
2 REFLECTED CEILING PLAN & POWER
SCALE = 1:50

PLUMBING
SCALE = 1:50

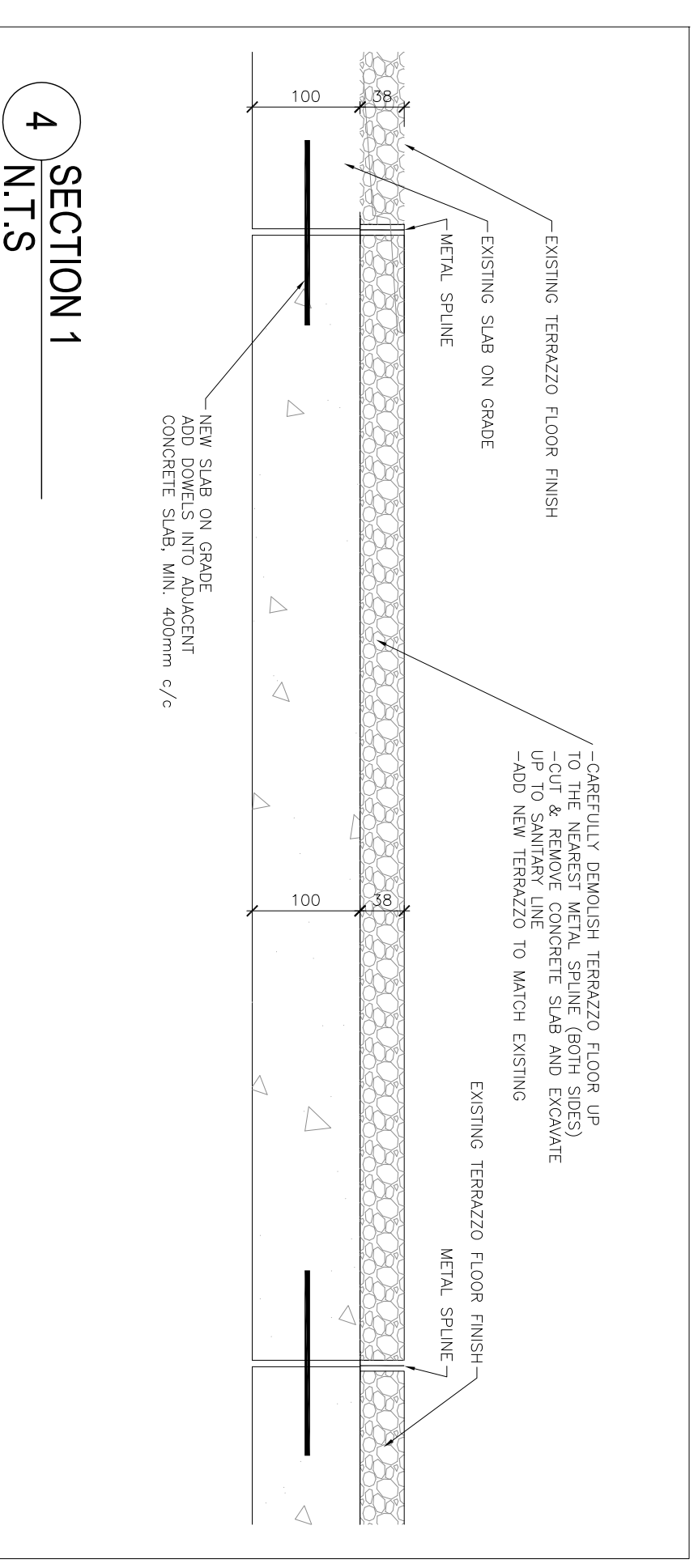


ENLARGE FLOOR PLAN
SCALE = 1:50

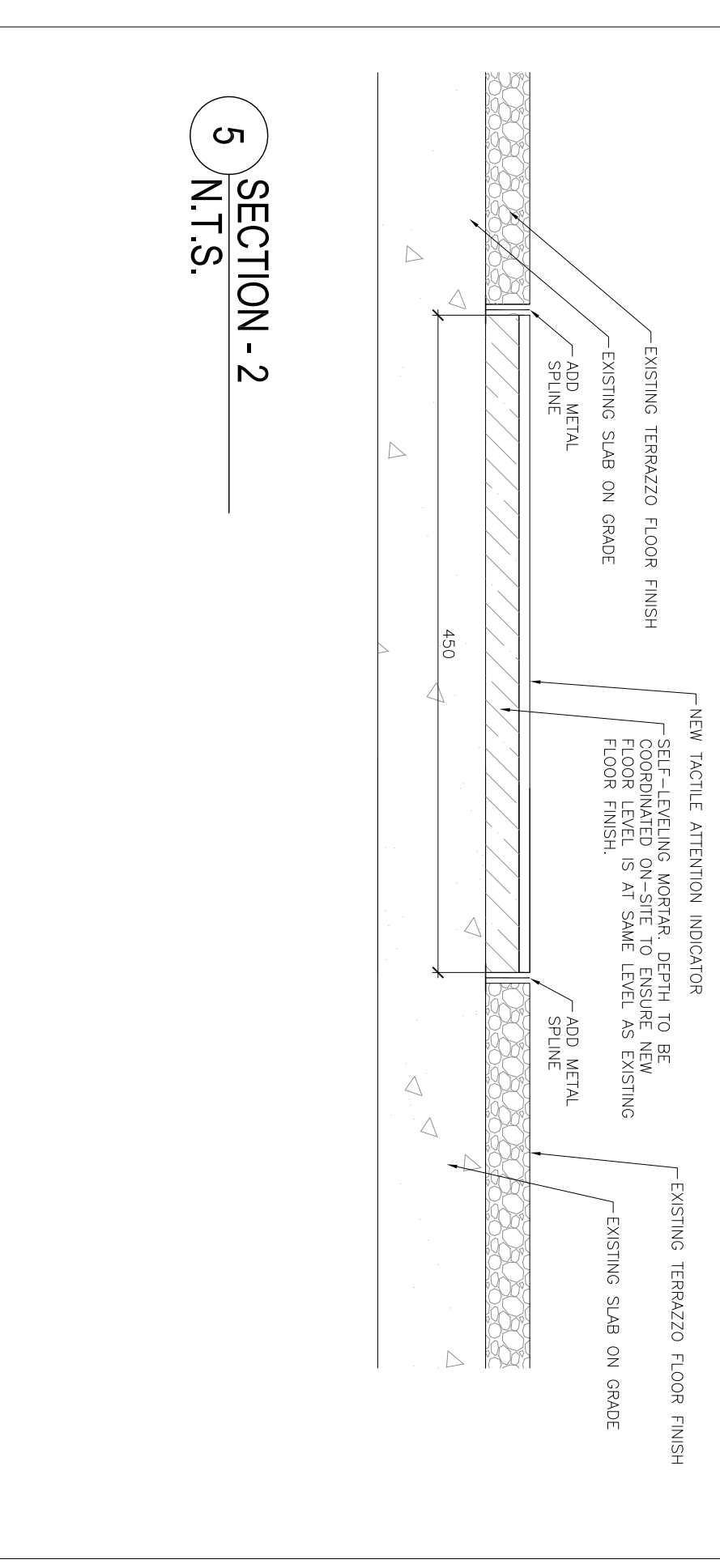
H.C. W.R. INTERIOR ELEVATIONS
SCALE = 1:50



HANDPAI DETAIL (TYP)
SCALE = N.T.S.



SECTION 1
N.T.S.



SECTION - 2
N.T.S.

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ST. CLAIR CATHOLIC DISTRICT SCHOOL BOARD
Lighting the Way - Reaching in Our Journey

KEY PLAN

NOTES

LEGEND

SYMBOL	DESCRIPTION
	VCI VINYL COMPOSITE TILE
	NEW TERRAZZO (TO MATCH EXISTING)
	PROPOSED POWER RECEPTACLE

PROJECT TITLE
ST. JOHN FISHER CATHOLIC SCHOOL

DRAWING TITLE
FLOOR PLAN, DETAILS & INT. ELEVATIONS

DATE PLOTTED
01-04-2015

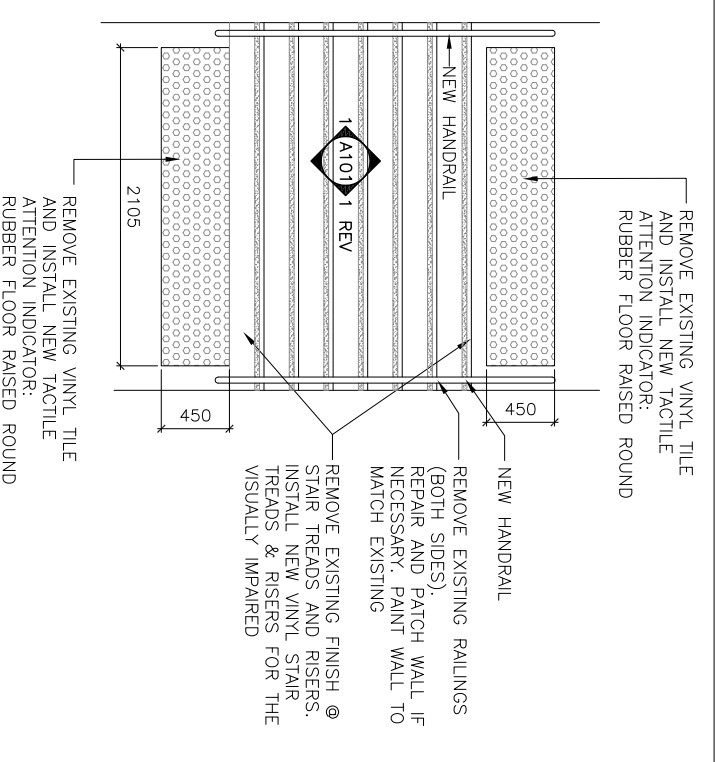
DRAWN
SD

CHECKED
SD/RW

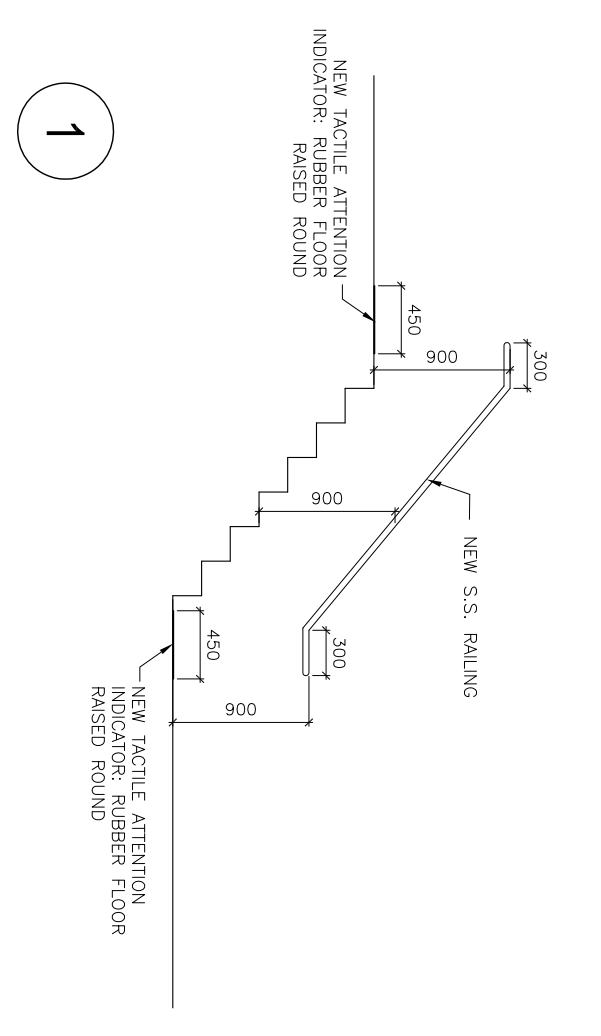
AS NOTED

DRAWING NO.
A100

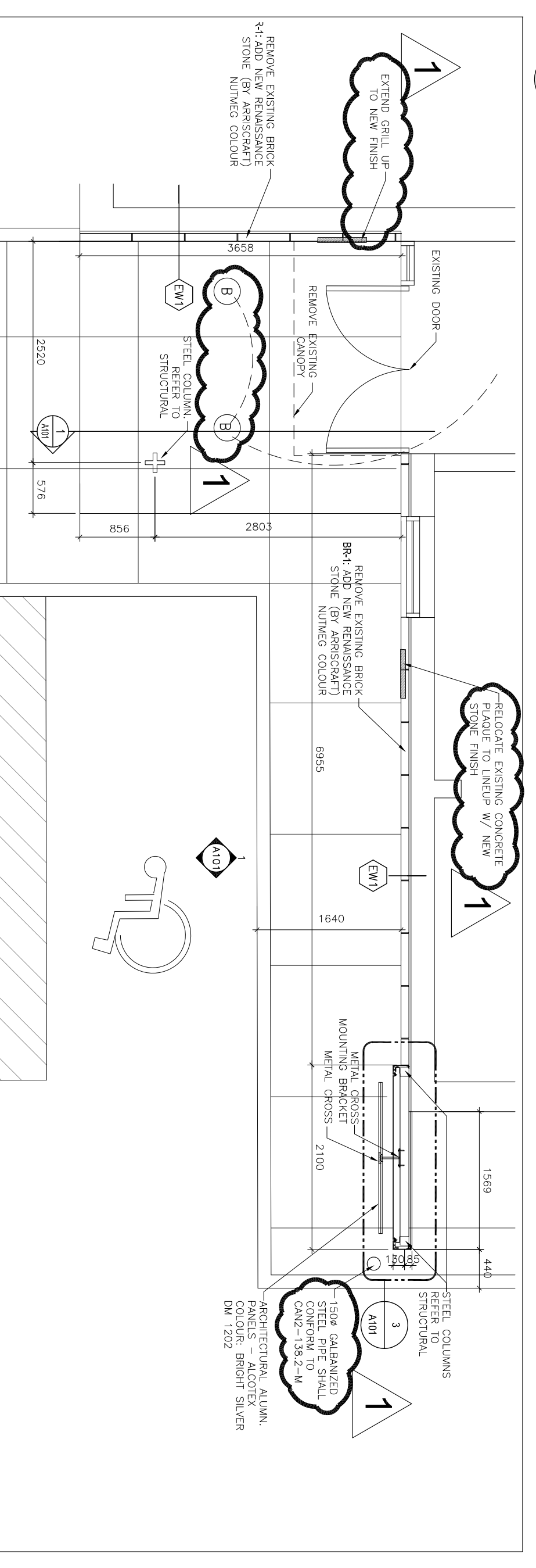
PROJECT NO.
RWA-105



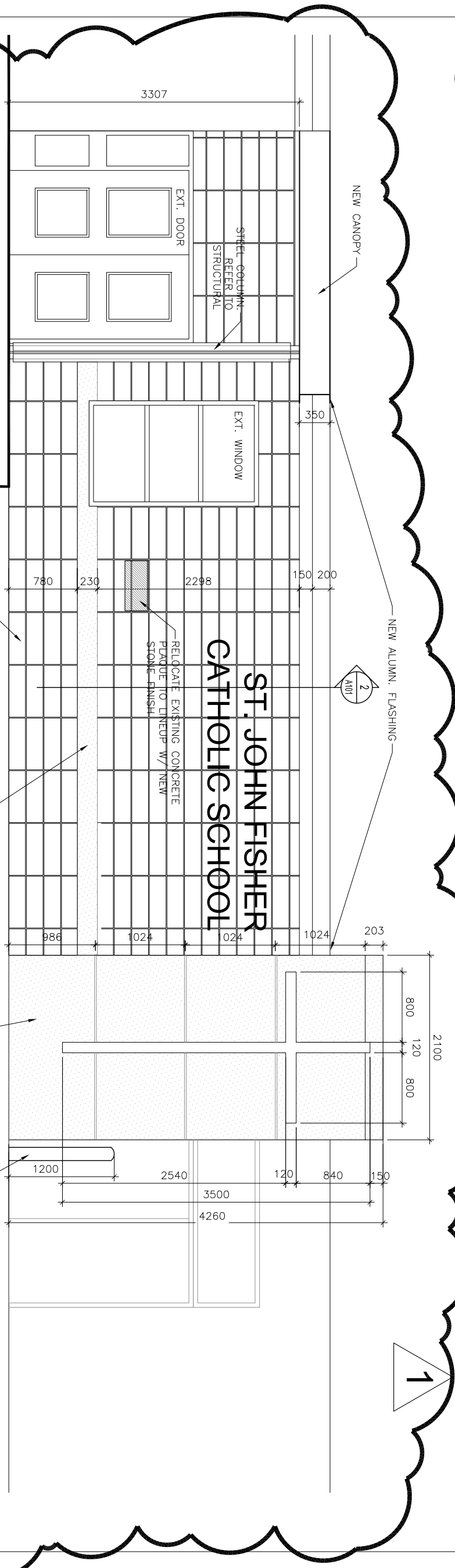
ENLARGE FLOOR PLAN
SCALE = 1:50



STAIR INTERIOR ELEVATIONS
SCALE = 1:50

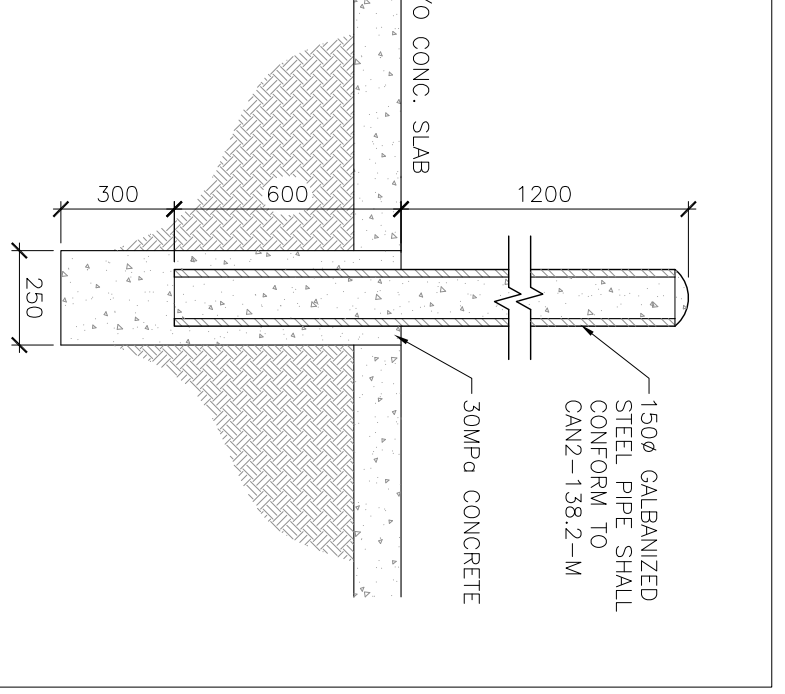


ENLARGE FLOOR PLAN - FRONT ENTRANCE
SCALE = 1:50



FRONT ENTRANCE ELEVATION
SCALE = 1:50

DETAIL - 2

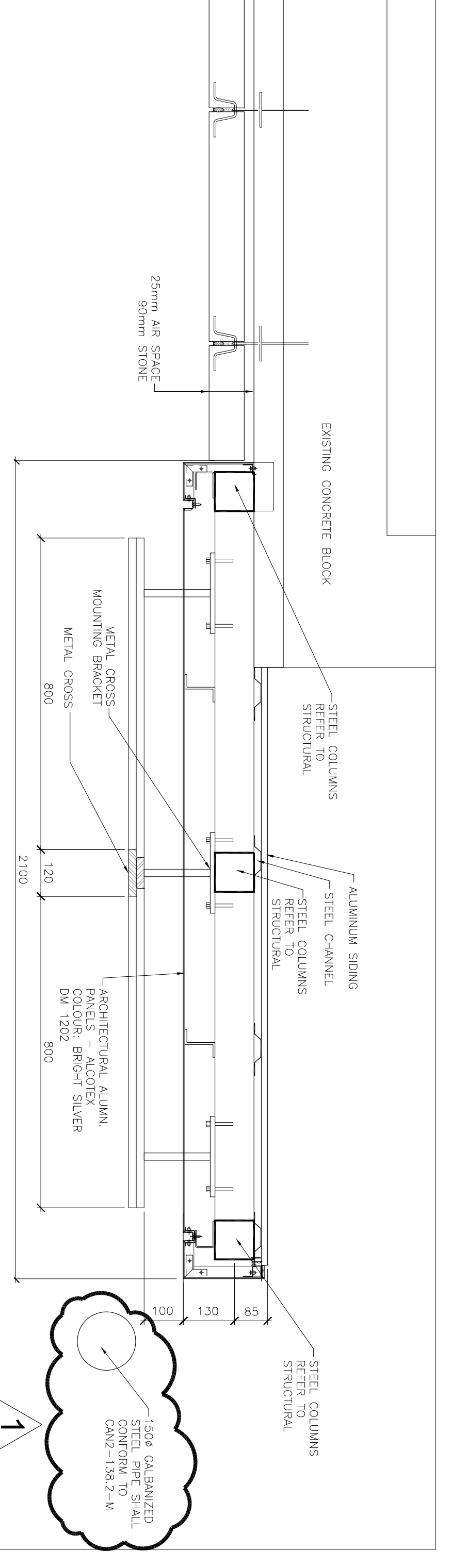


BOLLARD DETAIL
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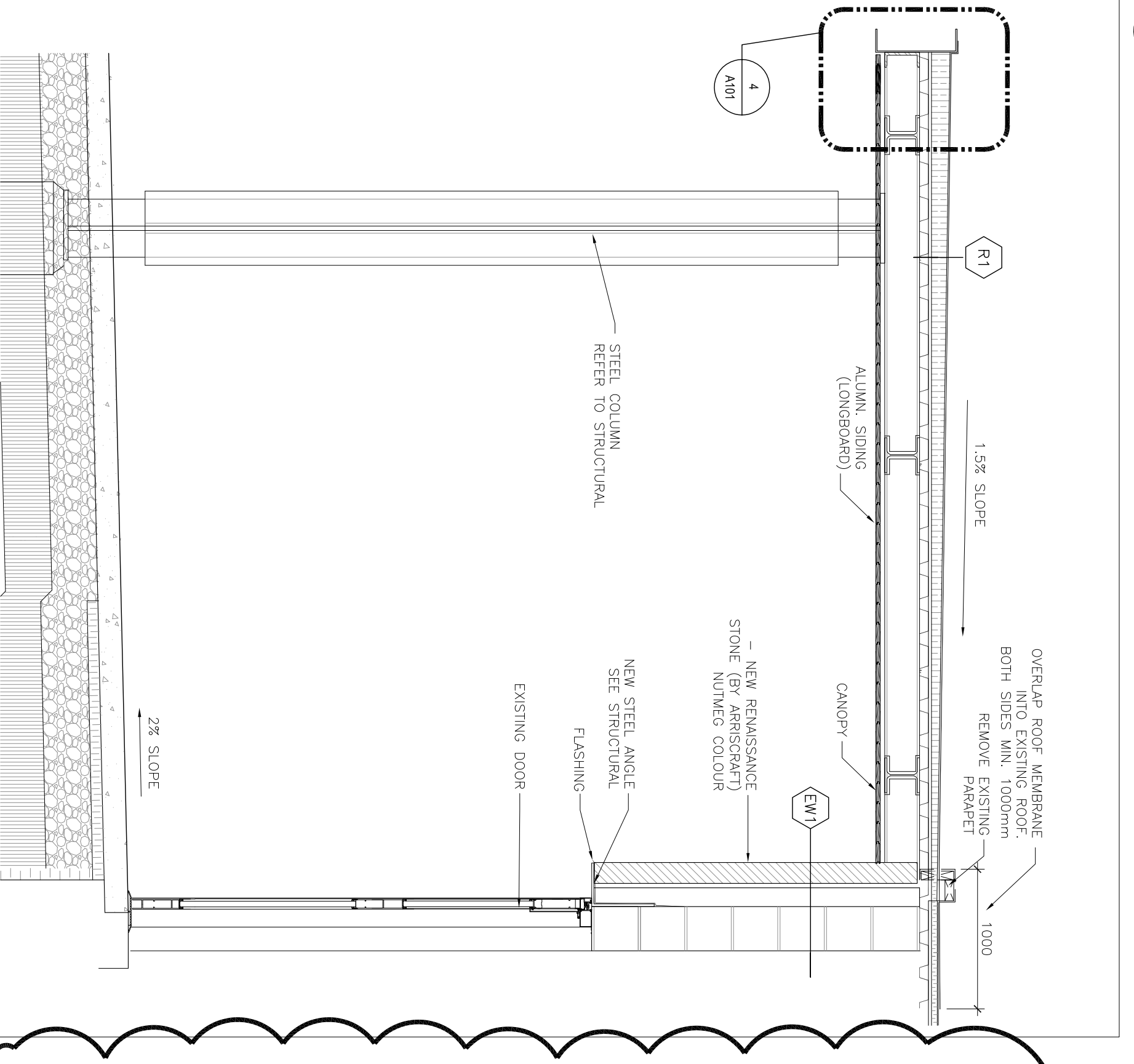
LIGHT FIXTURE SCHEDULE

TYPE	MANUFACTURER	MOUNTING		LUMPS	VOLTS	EQUAL MANUFACTURERS
		TYPE	HEIGHT			
A	LUMINA 45398-2-32-412125-120	RECESSED	CEILING	2-32W 10	120	Q1, COLUMBA, METALUX, THOMAS
B	QRE CAT # 156C-181000 WITH 16-G124 HOUSING AND 154-JR RIM, 150mm ASPERITE DEEP LED DOWNLIGHT WITH BROWN TRIM NEW CONSTRUCTION HOUSING, 1000 LUMEN OUTPUT, 4000K, DIMP LOCATION	RECESSED	CEILING	1000 LU LED	120	COOPER, GOTHAM, LIGHROLLER

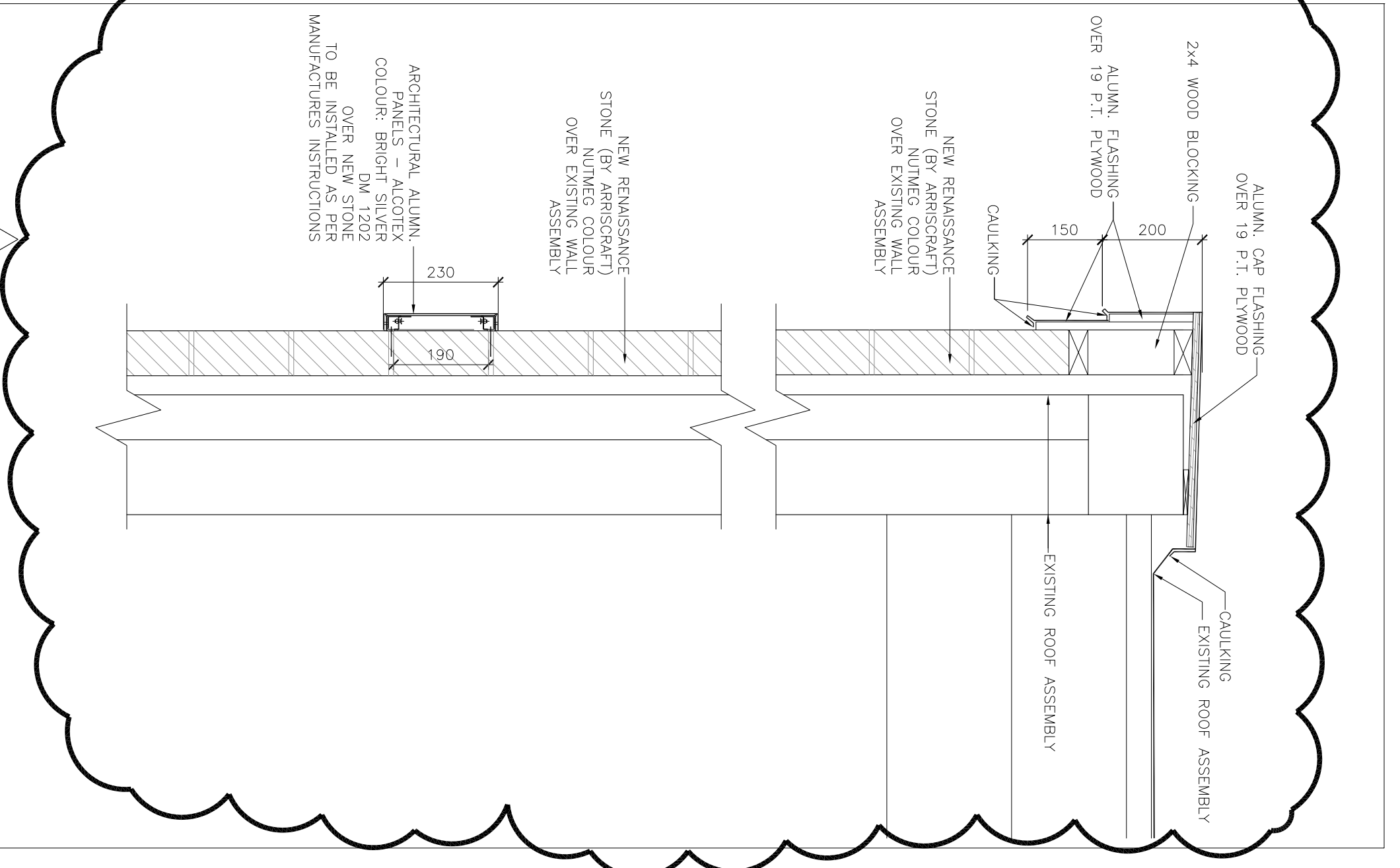
LIGHT FIXTURE SCHEDULE
SCALE = N.T.S



DETAIL - 3
SCALE = 1:10



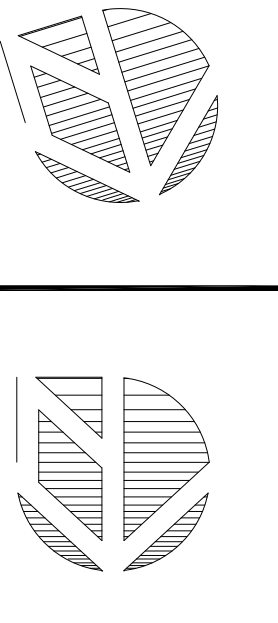
DETAIL - 4
SCALE = 1:10



SECTION - 2
SCALE = 1:10

SECTION - 1
SCALE = 1:20

KEY PLAN



NOTES

LEGEND

SYMBOL	DESCRIPTION
[Symbol]	VOT VANT COMPOSITE TILE
[Symbol]	NEW TERRAZZO (TO MATCH EXISTING)
[Symbol]	PROPOSED POWER REEFPACE

LEGEND

DATE	ISSUE FOR	NO.
05-13-2015	ISSUE FOR ADDENDUM # 1	1
05-05-2015	ISSUE FOR TENDER	2

PROJECT TITLE:
ST. JOHN FISHER CATHOLIC SCHOOL

ARCHITECTS SIGN:

DRAWING TITLE:
ENLARGE PLANS INT. ELEVATIONS & DETAILS

DATE PLOTTED	DRAWN	DRAWING NO.
01-04-2015	SD	A101

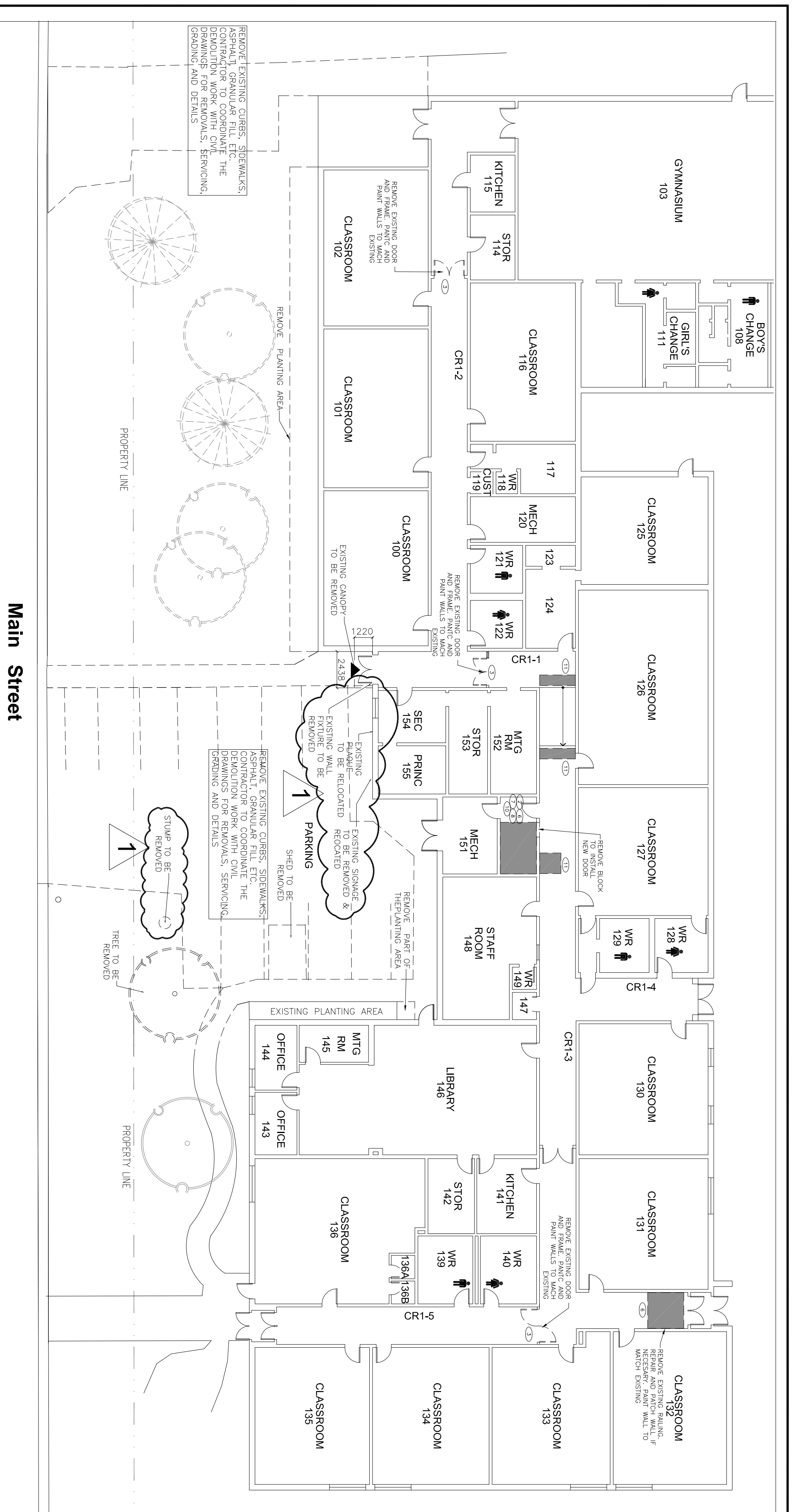
SCALE: AS NOTED / SD/RW

PRODUCT No. RWA-155

RANDY WILSON ARCHITECT INCORPORATED

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ST. CLAIR CATHOLIC DISTRICT SCHOOL BOARD
Lighting the Way - Reaching in Our Journey

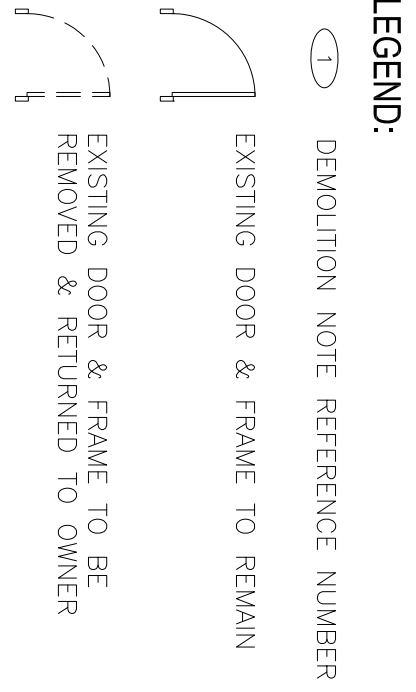


1 FIRST FLOOR PLAN
SCALE = 1:100

- DEMOLITION NOTES:**
1. REMOVE ALL WIRING FROM ELECTRICAL ITEMS THAT WILL BE REMOVED AND ALL REDUNDANT CONDUIT BACK TO NEAREST JUNCTION BOX THAT WILL REMAIN, AND MAKE SAFE. INSTALL METAL COVER PLATES OVER EXPOSED OPENINGS AND ELECTRICAL BOXES. REFER TO ELECTRICAL FOR ADDITIONAL REQUIREMENTS.
 2. MAKE GOOD ALL AREAS AFFECTED BY REMOVALS – FLUSH TO ADJACENT SURFACE AND MATCH EXISTING FINISH.
 3. DISPOSE OF ALL DESIGNATED SUBSTANCES TO THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION
 4. ALL PIPING THAT IS TO BE REMOVED OR ABANDONED IS TO BE REMOVED BACK TO THE NEAREST JUNCTION AND CAPPED. REFER TO MECHANICAL FOR ADDITIONAL REQUIREMENTS.
 5. NOTE ALL EXISTING ITEMS MAY NOT BE SHOWN ON THESE DRAWINGS. A CAREFUL REVIEW OF THE SITE IS REQUIRED TO DETERMINE THE FULL EXTENT OF THE WORK SHOWN.
 6. THE ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL PROJECT MANUALS, STRUCTURAL, CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS. IN CASE OF DIFFERENCES BETWEEN CONSULTANTS' DOCUMENTS WITH RESPECT TO QUANTITY, SIZES OR SCOPE, THE GREATER SHALL APPLY.
 7. PROVIDE PROTECTION FOR ALL FINISHES OR SERVICES TO REMAIN.
 8. ALL WINDOWS FALLING WITHIN THE DEMOLITION AREA ARE TO HAVE COVERINGS, THEIR FITTINGS, MOUNTING HARDWARE REMOVED & RETURNED TO THE OWNER.
 9. DEMOLITION NOTE REFERENCE NUMBERS, WHERE LOCATED ADJACENT TO A ROOM NAME/NUMBER APPLY TO THE ENTIRETY OF THE ROOM.
 10. GENERAL CONTRACTOR IS TO ALLOW FOR THE SUPPLY AND INSTALLATION OF LOOSE UNITS AS REQUIRED WHERE NEW OPENINGS ARE BEING CREATED OR WIDENED. REFER TO THE LOOSE UNIT SCHEDULE PROVIDED ON THE DRAWINGS, OR PROVIDE ENGINEERING WHERE THERE ARE NO STRUCTURAL DRAWINGS / SCHEDULE.
 11. GC IS REQUIRED TO REMOVE ALL REMAINING ADHESIVES ON WALLS WHERE COMMUNICATION BOARDS WERE REMOVED UNLESS BEING COVERED WITH NEW BOARDS. TYPICAL FOR ALL ROOMS AFFECTED BY WORK.

- DEMOLITION NOTES:**
1. INSTALL CONTINUOUS HOARDING, WHERE INDICATED, MADE OF 92 MTL. STUD FRAME & 6ML POLY SHEET. CUT TO FIT AROUND EXISTING SERVICES, AND COVERED IN 13 PLYWOOD (ON THE OCCUPIED OR TRAFFIC SIDE), TAPE AND SEAL ALL EDGES TO CONTAIN DUST AND DEBRIS WITHIN THE CONSTRUCTION ZONE. MAINTAIN AND REPAIR AS REQUIRED FOR THE DURATION OF THE CONSTRUCTION PROJECT. CONTRACTOR TO ALLOW FOR THE RELOCATION OF THE HOARDING SYSTEM AS REQUIRED TO SUIT THE PHASING OF THE PROJECT.
 2. REMOVE EXISTING WALLS AS INDICATED ON THE DRAWINGS. CONSTRUCTION TYPE MAY VARY FROM EXTERIOR MASONRY ON CONCRETE BLOCK BACKUP TO INTERIOR CONCRETE BLOCK AND/OR DRYWALL PARTITIONS. WALL REMOVAL TO INCLUDE DOORS AND FRAMES INDICATED ON DRAWINGS. REMOVE MECHANICAL AND ELECTRICAL COMPONENTS / DEVICES (BACK TO SOURCE) ANCHORED TO OR CONCRETE WITHIN WALLS. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS. PROVIDE ALL SHORING AND TEMPORARY SUPPORT REQUIRED TO MAKE EXISTING STRUCTURE SAFE. REFER TO DRAWINGS FOR ADDITIONAL REQUIREMENTS.
 3. EXISTING DOOR, AND FRAME IF INDICATED, TO BE REMOVED CAREFULLY. BOX, LABEL, AND TURN OVER HARDWARE TO OWNER FOR FUTURE USE. WHERE FRAME IS REMOVED PREPARE OPENING TO RECEIVE NEW INFILL OR DOOR AND FRAME. REFER TO NEW CONSTRUCTION PLANS AND ELEVATIONS.
 4. EXISTING GLAZING AND FRAME TO BE REMOVED. PREPARE OPENING TO RECEIVE NEW ASSEMBLY. REFER TO NEW CONSTRUCTION PLANS AND ELEVATIONS.
 5. EXISTING MILLWORK TO BE REMOVED. REMOVE ALL EQUIPMENT, SINK, DRAINS, GAS AND WATER LINES AS REQUIRED. REFER TO MECHANICAL AND ELECTRICAL FOR ADDITIONAL REQUIREMENTS. ONLY RETAIN MILLWORK FOR OWNERS' USE OR REUSE IN NEW CONSTRUCTION WHERE SPECIFICALLY NOTED.
 6. EXISTING FLOOR FINISHES AND WALL BASE TO BE REMOVED INCLUDING ALL ADHESIVES AND MORTAR DOWN TO EXISTING SUBSTRATE. REMOVE ALL PLUMBING FIXTURES, SUPPLY AND WASTE LINES. FLUSH CAP ALL SERVICES AT FLOOR. REMOVE ALL CEILING FINISHES AND MATERIALS. REMOVE ALL PARTITION WALLS AND CEILING FINISHES TO WITHIN 10MM OVER SUBSTRATE AND MAKE READY FOR NEW FINISHES. PROVIDE ALL SHORING AND TEMPORARY SUPPORT REQUIRED WHERE BASE HAS BEEN REMOVED. REFER TO NEW CONSTRUCTION PLANS AND ELEVATIONS.
 7. EXISTING CEILING TREATMENTS, FITURES AND FINISHES TO BE REMOVED AND DISCARDED (OR SALVAGED AS REQUIRED). REFER TO NOTE 10). INCLUDING ALL TILES, GYPSUM BOARD, SUPPORT HANGERS, AND FRAMING.
 8. EXISTING MECHANICAL/ELECTRICAL EQUIPMENT TO BE DISCONNECTED, REMOVED & DISCARDED (OR SALVAGED AS REQUIRED). REFER TO MECHANICAL AND ELECTRICAL FOR ADDITIONAL REQUIREMENTS. THIS IS TO INCLUDE ALL HANGERS, SUPPORTS, ETC. WITHIN WALLS AND CEILINGS.
 9. COMPLETELY DEMOLISH SHOWER & STORAGE ROOM AREA BACK TO SLAB ON GRADE. CONCRETE BLOCK AND EXPOSED STRUCTURE. REMOVE ALL PLUMBING FIXTURES, SUPPLY AND WASTE LINES. FLUSH CAP ALL SERVICES AT FLOOR. WALL AND ABOVE CEILING LEVEL. PATCH, REPAIR AND MAKE GOOD ALL EXPOSED SURFACES.
 10. EXISTING CEILING TREATMENTS, FITURES AND FINISHES TO BE CAREFULLY REMOVED AND SALVAGED FOR REINSTALLATION. EXTRA MATERIAL MAY BE SALVAGED FROM AREAS REMOVED UNDER NOTE 7
 11. EXISTING +/- 15mm EPOXY TERRAZZO TO BE COMPLETELY DEMOLISHED AND REMOVED DOWN TO CONCRETE SLAB PATCH AND REPAIR DAMAGED CONCRETE SLAB READY TO RECEIVE NEW TERRAZZO FINISH
 12. BLOCK INFILL IN DEMOLISHED WALLS AND DOOR OPENINGS SHALL BE TOOTHED IN TO ACCEPT NEW AMERICAN SIZE CMU TO MATCH EXISTING ADJACENT BLOCK COURSING. CAREFUL DEMOLITION TO ALLOW FOR TOOTHING

2 DEMOLITION NOTES
SCALE: N.T.S.



3 RESERVED

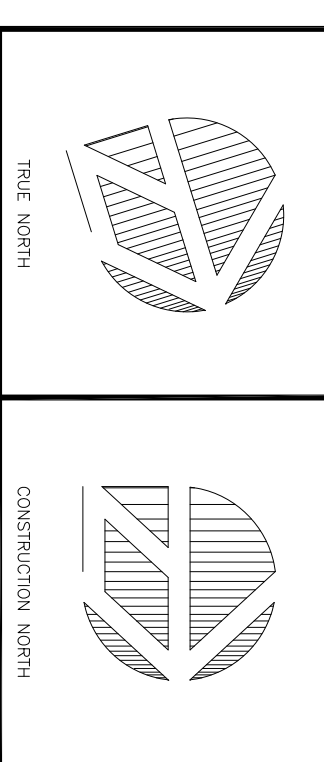
4 RESERVED

RANDY WILSON ARCHITECT INCORPORATED

280 QUEEN AVENUE, SUITE 10
LONDON, ONTARIO N6A 1X3
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ST. CLAIR CATHOLIC DISTRICT SCHOOL BOARD
Lighting the Way - Reaching in Our Journey

KEY PLAN



NOTES

NO.	DESCRIPTION
1	ISSUE FOR TENDER
2	ISSUE FOR ADDENDUM # 1

LEGEND

DATE	DESCRIPTION	NO.
05-05-2015	ISSUE FOR TENDER	1
05-13-2015	ISSUE FOR ADDENDUM # 1	2

PROJECT TITLE:
ST. JOHN FISHER CATHOLIC SCHOOL

ARCHITECTS SEAL

DRAWING TITLE:
DEMOLITION FLOOR PLAN AND NOTES

DATE PLOTTED: 01-04-2015	DRAWN: SD	DRAWING NO.:
SCALE: AS NOTED	CHECKED: SD/RW	
PROJECT NO.:	RWAL-105	DRAWING NO.:

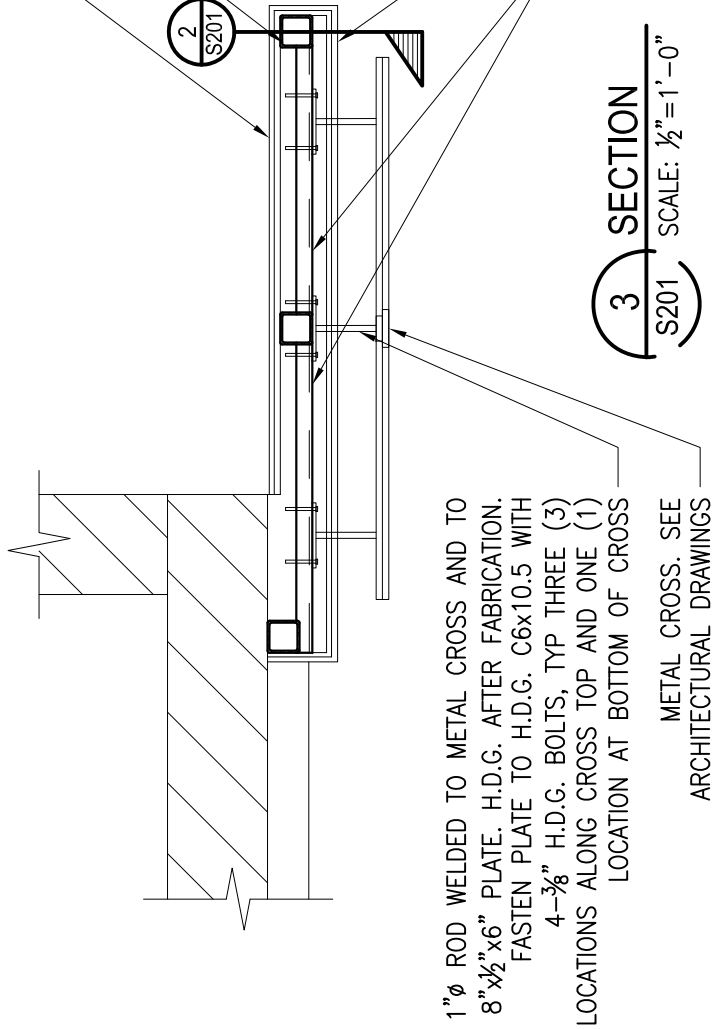
A102

NEW ARCHITECTURAL ALUMINUM PANELS. SEE ARCHITECTURAL DRAWINGS. INSTALL THESE PANELS AFTER CROSS MOUNT CONNECTIONS HAVE BEEN COMPLETED

NEW H.D.G. HSS 4x4x $\frac{1}{4}$ " COLUMNS

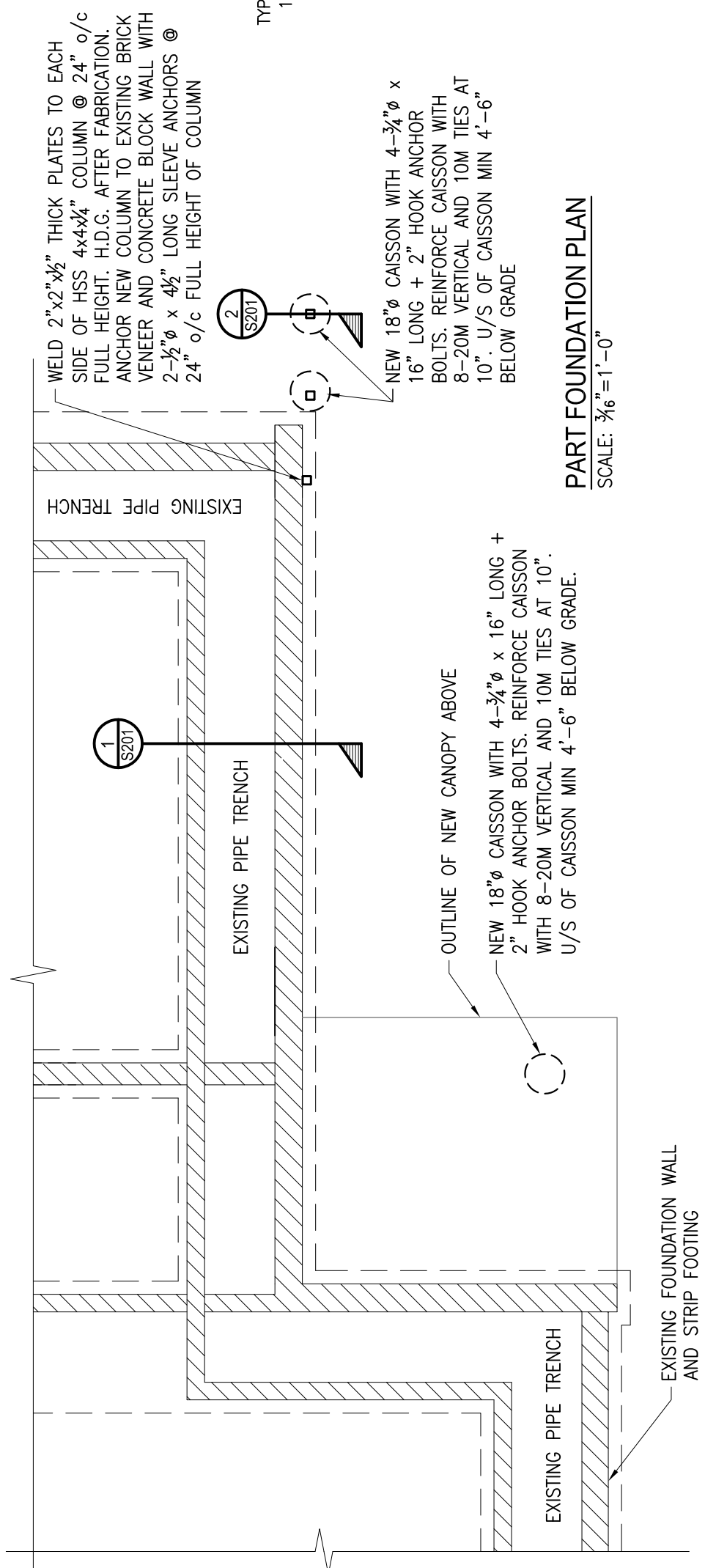
NEW ARCHITECTURAL ALUMINUM PANELS. SEE ARCHITECTURAL DRAWINGS

NEW H.D.G. C6x10.5 AT CROSS ELEVATION. REFER TO ARCHITECTURAL

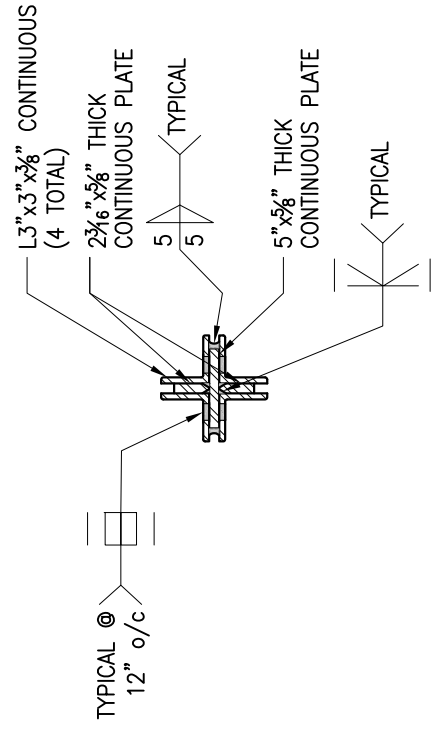


3 SECTION
SCALE: $\frac{1}{2}$ "=1'-0"

1" ϕ ROD WELDED TO METAL CROSS AND TO 8" \times 6" PLATE. H.D.G. AFTER FABRICATION. FASTEN PLATE TO H.D.G. C6x10.5 WITH 4- $\frac{3}{8}$ " H.D.G. BOLTS, TYP THREE (3) LOCATIONS ALONG CROSS TOP AND ONE (1) LOCATION AT BOTTOM OF CROSS
METAL CROSS. SEE ARCHITECTURAL DRAWINGS



PART FOUNDATION PLAN
SCALE: $\frac{3}{16}$ "=1'-0"



DETAIL AA
SCALE: 1"=1'-0" S102

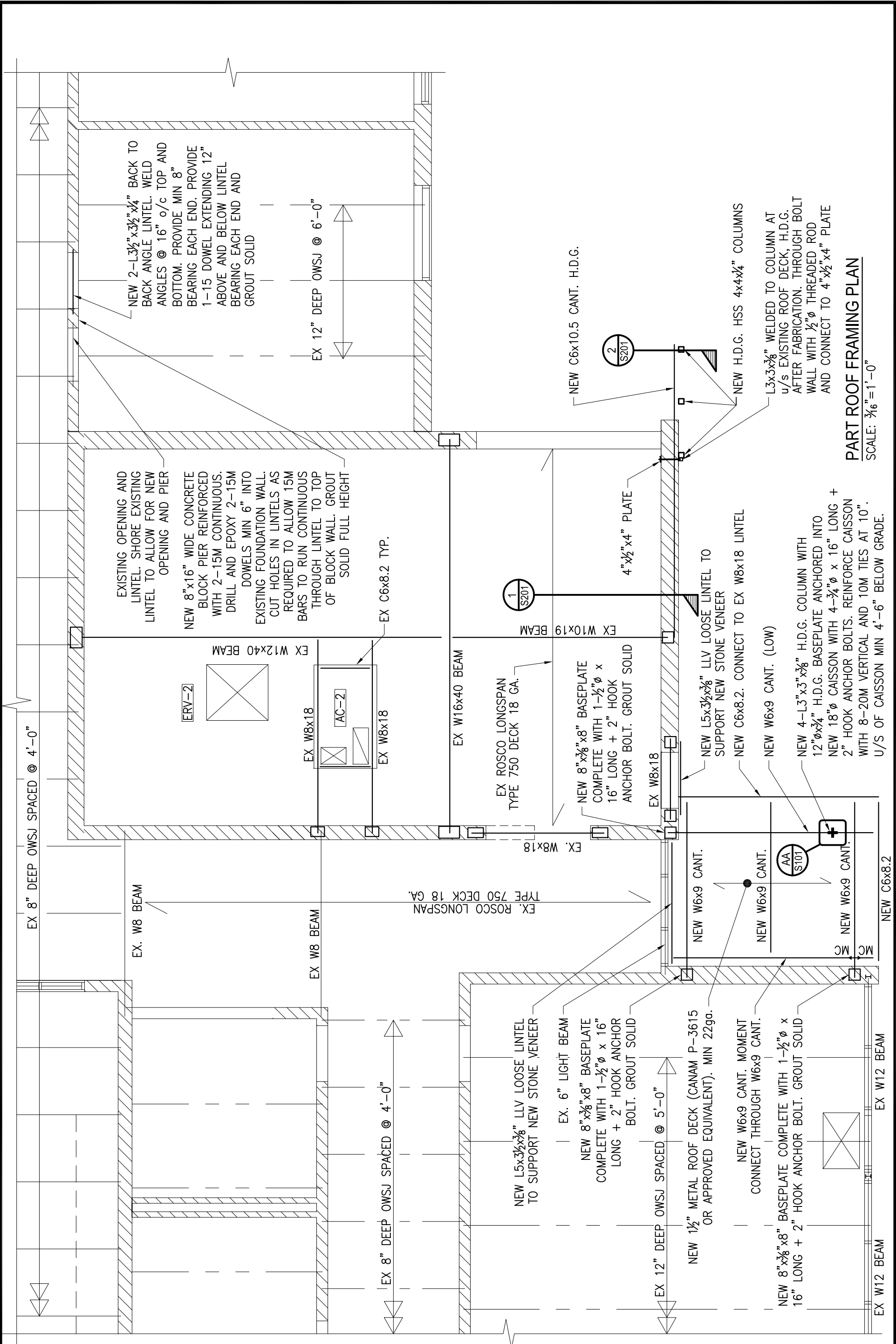
COLUMN TO BE HOTDIPPED GALVANIZED AFTER FABRICATION

VB & S VanBoxmeer & Stranges Ltd.
STRUCTURAL ENGINEERS
458 Queens Avenue, London, Ontario N6B 1X9
tel. (519) 433-4661 fax. (519) 433-6420

DRN. BY: MBM
CHKD. BY: GVB
DATE: 11/05/2015

PROJECT: ST. JOHN FISHER CATHOLIC SCHOOL
FOREST ONTARIO
DRAWING: PART FOUNDATION PLAN

PROJ. NO.: 15135
DWG. NO.: S101



PART ROOF FRAMING PLAN
 SCALE: 3/16" = 1' - 0"

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 STRUCTURAL ENGINEERS
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 tel. (519) 433-4661 fax. (519) 433-6420

DRN. BY: MBM
 CHKD. BY: GVB
 DATE: 11/05/2015

PROJECT: ST. JOHN FISHER CATHOLIC SCHOOL
 FOREST ONTARIO
 DRAWING: PART ROOF FRAMING PLAN

PROJ. NO.: 15135
 DWG. NO.: S102

EX ROSCO LONGSPAN
TYPE 750 DECK x 18 ga.

EX W10x19 BEAM

EXISTING 6" CONCRETE BLOCK

EXISTING 4" CONCRETE SLAB

EXISTING 8" CONCRETE
BLOCK FOUNDATION

EXISTING 12" CONCRETE
BLOCK FOUNDATION

EXISTING 6" REINFORCED
CONCRETE PAD FOUNDATION

REFER TO ARCHITECTURAL
DRAWINGS FOR PARAPET AND
FLASHING DETAILS

PROVIDE CONTINUOUS SOLID
WOOD BLOCKING IN CHANNEL

NEW C6x10.5 CANT. DRILL AND
EPOXY 2-1/2"φ x 6" LONG
THREADED RODS INTO TOP OF
PARAPET CONCRETE BLOCK

NEW STONE VENEER, REFER
TO ARCHITECTURAL
DRAWINGS FOR DETAILS

EXISTING BRICK VENEER TO
REMAIN IN PLACE

NEW STAINLESS STEEL
HELIFIX ANCHORS @ 16"
o/c EACH WAY

NEW C4x5.4 x 24" LONG
HANGERS @ 48" o/c MAX.
ANCHOR TO EXISTING BRICK
VENEER AND CONCRETE BLOCK
WITH 2-1/2"φ x 4 1/2" LONG
SLEEVE ANCHOR, TYP.

NEW L4x3 1/2 x 3/8" LLV
CONTINUOUS ANGLE WELDED
TO CHANNEL HANGERS

PROVIDE CONTINUOUS SOLID
WOOD BLOCKING IN CHANNEL

NEW C6x10.5 CANT. DRILL AND
EPOXY 2-1/2"φ x 6" LONG
THREADED RODS INTO TOP OF
PARAPET CONCRETE BLOCK

1"φ ROD WELDED TO METAL CROSS AND
TO 8" x 1/2" x 6" PLATE. H.D.G. AFTER
FABRICATION. FASTEN PLATE TO C6x10.5
WITH 4-3/8" H.D.G. BOLTS, TYP 3
LOCATIONS ALONG CROSS TOP AND ONE
LOCATION AT BOTTOM OF CROSS

NEW H.D.G. C6x10.5 CROSS
SUPPORT. CONNECT TO FRONT
OF HSS COLUMNS. REFER TO
ARCHITECTURAL FOR ELEVATION

METAL CROSS. REFER TO
ARCHITECTURAL FOR DETAILS

NEW ALUMINUM PANELS.
REFER TO ARCHITECTURAL
FOR DETAILS

NEW HSS 4x4 1/4" COLUMN

NEW 10" x 3/4" x 6" STEEL BASEPLATE
COMPLETE WITH 4-3/4"φ x 16"
LONG + 2" HOOK ANCHOR BOLTS

NEW 18"φ CAISSON REINFORCED
WITH 8-20M VERTICAL AND 10M
TIES AT 10". U/S OF CAISSON
MIN 4'-6" BELOW GRADE



1 SECTION
S101 SCALE: 1/2" = 1'-0"

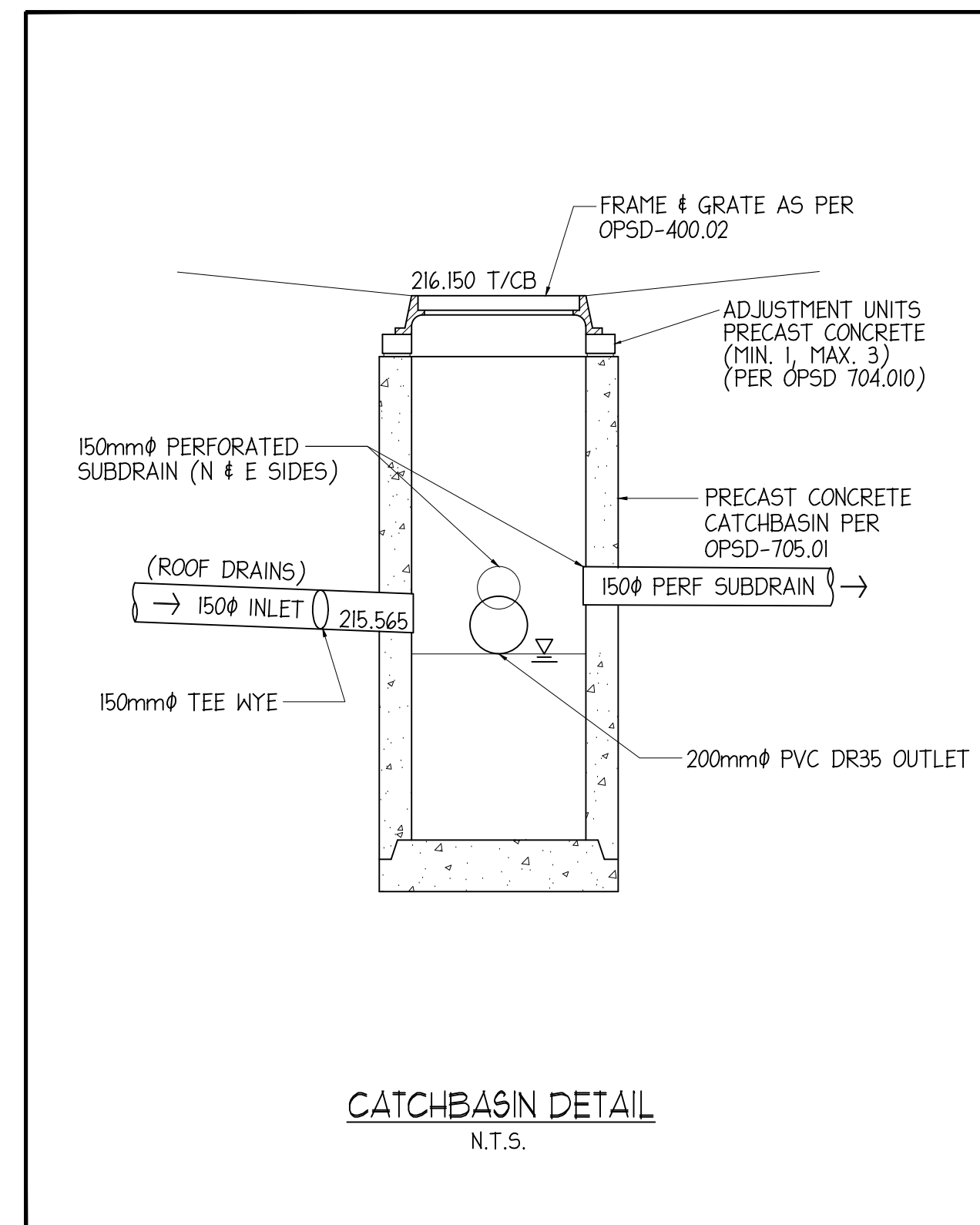
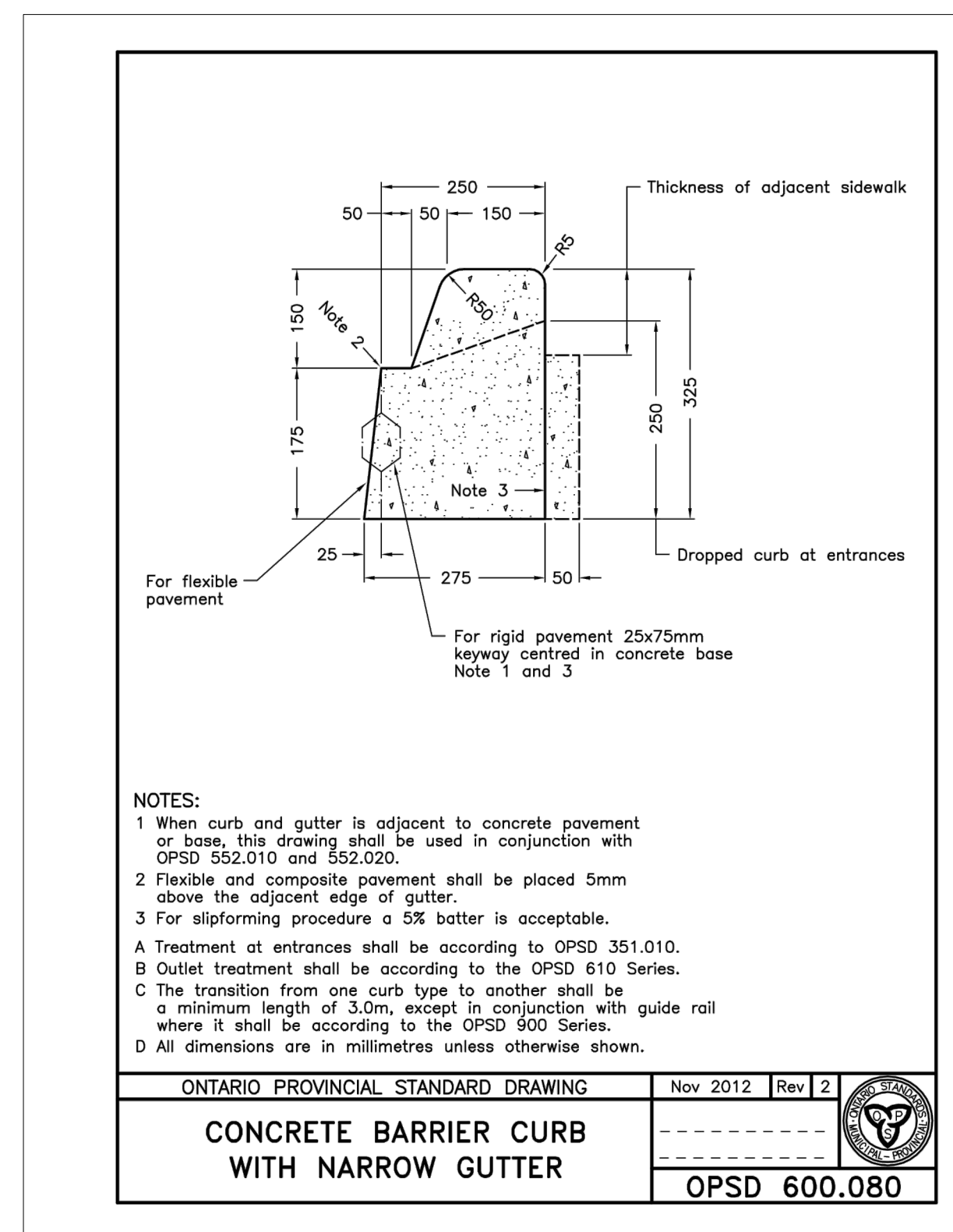
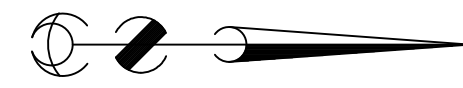
2 SECTION
S101 SCALE: 1/2" = 1'-0"

VB & S VanBoxmeer & Stranges Ltd.
STRUCTURAL ENGINEERS
458 Queens Avenue, London, Ontario N6B 1X9
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DRN. BY: MBM
CHKD. BY: GVB
DATE: 11/05/2015

PROJECT: ST. JOHN FISHER CATHOLIC SCHOOL
FOREST ONTARIO
DRAWING: SECTIONS

PROJ. NO.: 15135
DWG. NO.: S201



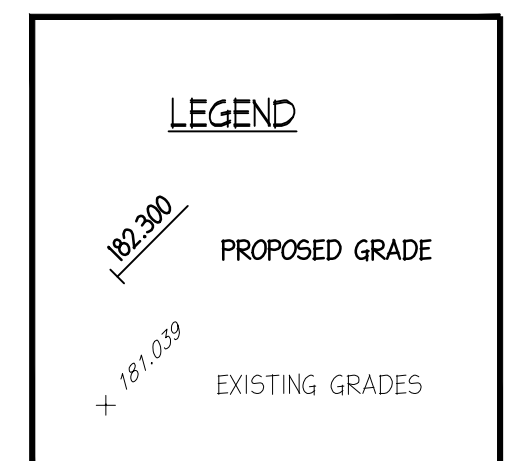
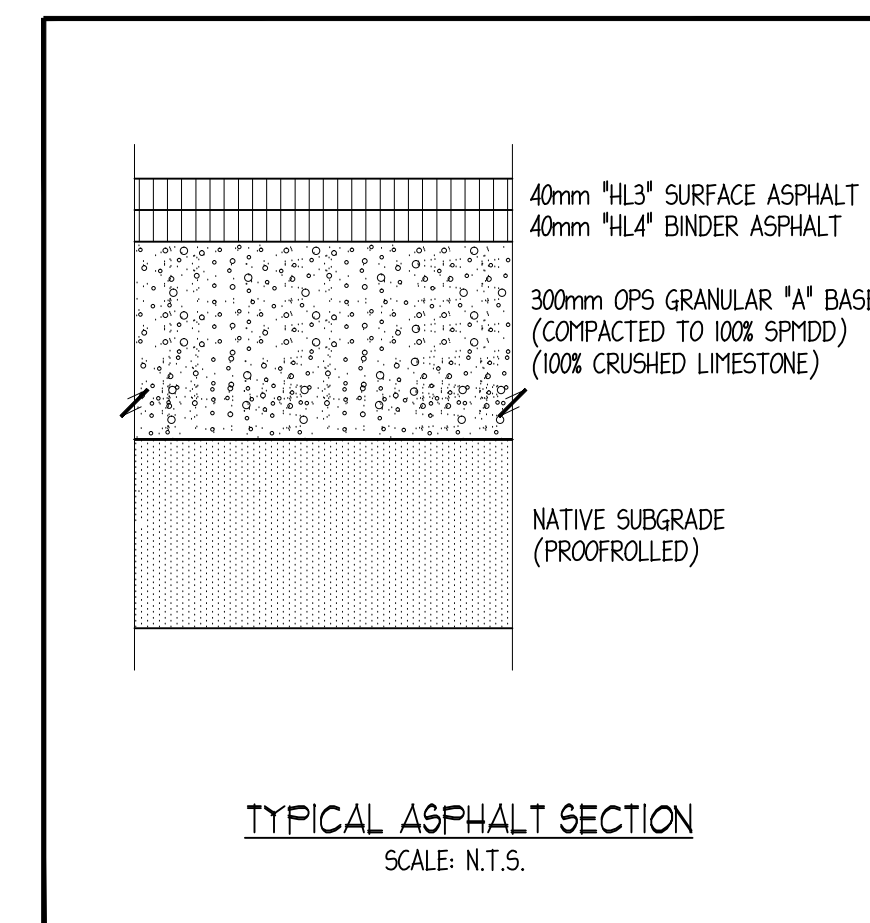
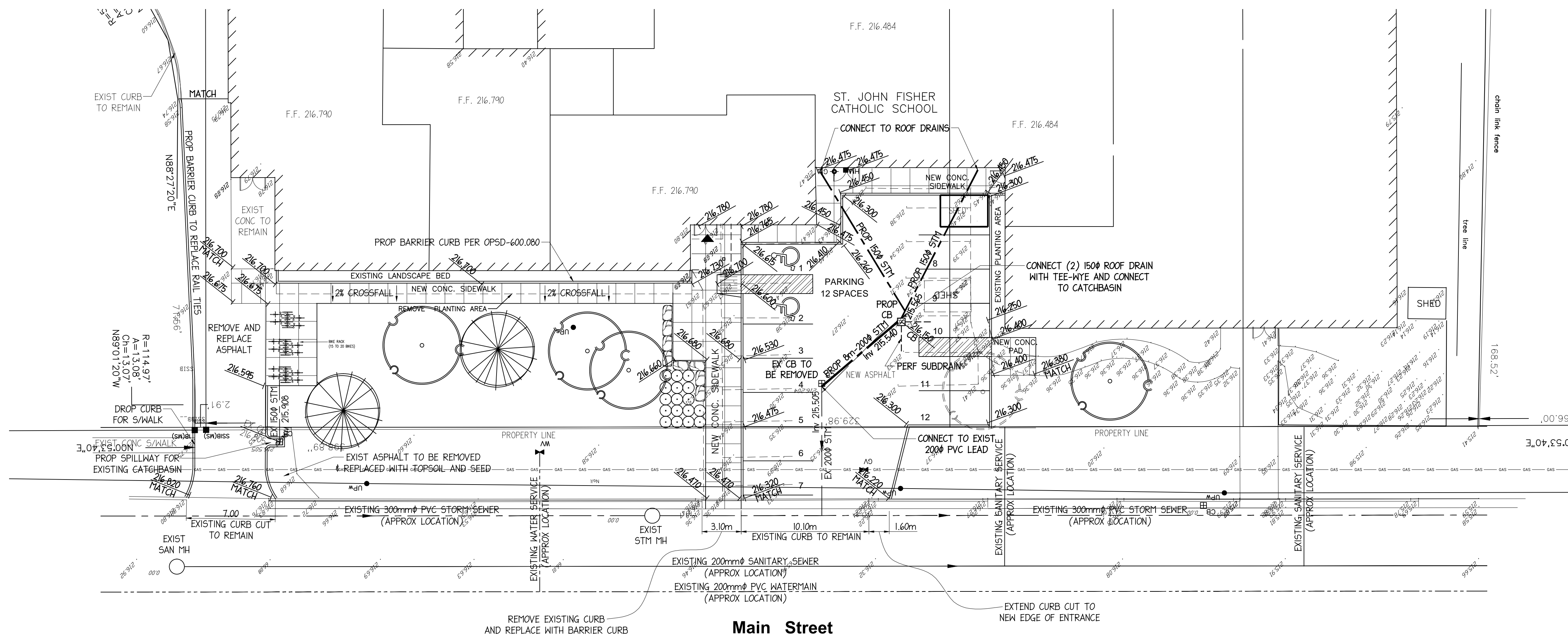
- NOTES:**
- IT IS THE CONTRACTOR'S RESPONSIBILITY PRIOR TO CONSTRUCTION TO INVESTIGATE AND VERIFY THE LOCATIONS OF ALL EXISTING MUNICIPAL SERVICES, SITE SERVICES, AND UTILITIES WHICH MAY AFFECT THE WORK WHETHER OR NOT INDICATED ON THE DRAWINGS.
 - THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR LAYOUT OF SITE AND BUILDINGS.
 - ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST REVISION OF THE ONTARIO PROVINCIAL STANDARD SPECIFICATIONS AND MUNICIPALITY OF LAMBTON SHORES STANDARDS.
 - GENERAL CONTRACTOR OR APPROPRIATE SUB-TRADE SHALL BE RESPONSIBLE FOR NOTIFYING THE FOLLOWING PEOPLE AT LEAST 2 WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION:
 - THE MUNICIPALITY OF LAMBTON SHORES ENGINEERING SPECIALIST CONTACT: MR. NICK VERHOEVEN AT 519-243-1400
 - THE ENGINEERING CONSULTANT CONTACT: T.W. GRAY & ASSOCIATES ENGINEERING LTD. 519-336-0486

- STORM NOTES:**
- STORM SEWERS SHALL BE INSTALLED IN ACCORDANCE WITH OPSS 410.
 - PROVIDE PRECAST CONCRETE CATCHBASIN PER OP5D-705.010 AND REMOVE EXISTING CATCHBASIN. CONNECT NEW 200mm PVC DR35 STORM INTO EXISTING 200mm STORM AND TIE INTO NEW CATCHBASIN. CONNECT ROOF DRAINS TO A 'Y' CONNECTION WITH 150mm PVC DR28 PIPE AND CONNECT TO NEW CATCHBASIN.
 - PROVIDE 2-3m LONG 150mm PERFORATED SUBDRAINS c/w FILTER SOCK AT CATCHBASIN LOCATIONS. PROVIDE 150 PERFORATED HDPE BOSS 1000 (OR EQUIV.) SUBDRAIN C/W FILTERSOCK CONTINUOUS BELOW NEW CURB INSTALLED BELOW NEW GRANULAR SUBBASE LAYER C/W OUTLETS TO CATCH BASINS.
 - EXISTING CB TO BE REMOVED AND DISPOSED OF OFF SITE.
 - CONNECT NEW 200mm CB LEAD TO EXISTING 200mm STORM.

- MATERIALS:**
- CATCHBASIN PER OP5D-705.01 WITH FRAME AND GRATE PER OP5D-400.020
 - 200mm SEWER PIPE SHALL BE PVC DR35, 150mm ROOF DRAIN CONNECTIONS SHALL BE PVC DR28
 - 150mm SUBDRAINS SHALL BE PERFORATED HDPE BOSS 1000 (OR EQUIV.) C/W FILTERSOCK

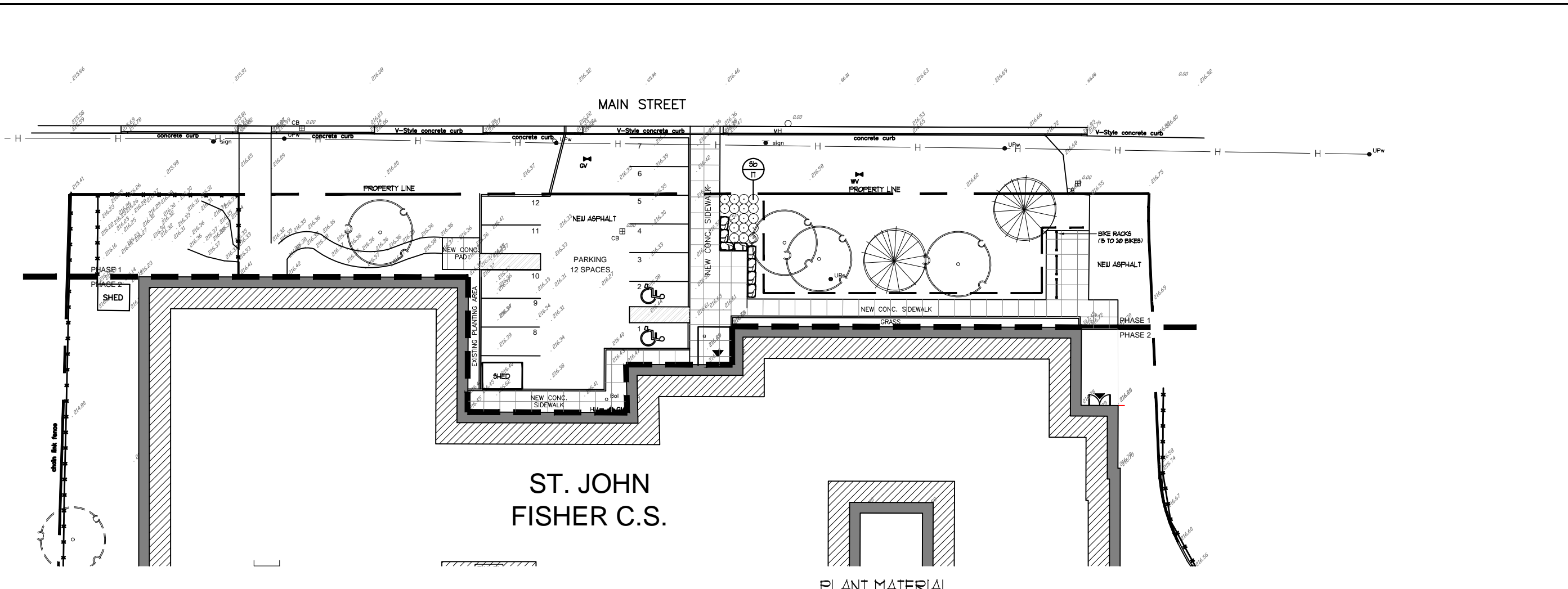
- PAVEMENT AND CURBS:**
- EXCAVATE AS REQUIRED TO PAVEMENT SUBGRADE INCLUDING REMOVAL OF ANY TOPSOIL ENCOUNTERED.
 - PAVEMENT OVER APPROVED SUBGRADE SHALL BE AS PER DETAILS ON THIS DRAWING.
 - ALL SITE CURBING SHALL BE AS PER OP5D-600.080. SEE DETAIL THIS DRAWING.
 - HORIZONTAL SAWCUT AT ENTRANCE CURB REQUIRED FOR NEW ASPHALT DRIVENWAY EXTENSIONS TO THE NORTH.
 - FOR CURB CUT IN FILL AT SOUTH SIDE OF PARKING LOT DRIVENWAY CUT, EXISTING CONCRETE CURB & GUTTER SHALL BE SAWCUT, REMOVED, AND REPLACED WITH BARRIER CURB AND GUTTER TO MATCH EXISTING. CONTRACTOR SHALL USE CARE TO AVOID DAMAGING EXISTING MUNICIPAL ASPHALT AND SHALL FOUR REPLACEMENT CURB AGAINST EXISTING EDGE OF ASPHALT.
 - CONCRETE SIDEWALKS SHALL BE 125mm THICK CONCRETE ON 100mm OPS GRANULAR 'A' BASE INSTALLED AS PER OPSS-351.
 - HANDICAPPED PARKING SIGNS & POSTS TO BE INSTALLED IN THE MIDDLE OF PARKING SPACE INCLUDING WHEEL STOP, PARKING LINES & PAVEMENT PAINTED BLUE c/w GLASS BEADS & HANDICAPPED SYMBOL (WHERE INDICATED ON PLAN). SIGNS CAN BE PURCHASED FROM THE CITY OF SARNIA PARKING AUTHORITY.
 - SITE GRASS AREAS TO BE PROVIDED WITH A MINIMUM OF 100mm TOPSOIL AND SEED. (CANADA #1 LAWN GRASS SEED MIX)
 - TEMPORARY ROAD REPAIRS:** WHERE A CONTRACTOR INSTALLS SERVICING TO A SITE, IT SHALL BE HIS RESPONSIBILITY TO PERMANENTLY RESTORE THE ROAD IMMEDIATELY ON COMPLETION OF THE UNDERGROUND WORK. IF THIS IS NOT POSSIBLE AS APPROVED BY THE ENGINEER, THE CONTRACTOR MUST TEMPORARILY RESTORE THE CUT WITH A 25mm H/L3 ASPHALT SURFACE (COLD MIX IF HOT MIX NOT AVAILABLE) UNTIL THE PERMANENT RESTORATION CAN BE COMPLETED AS SOON AS POSSIBLE. ALL COSTS FOR THE ABOVE, INCLUDING THE REMOVAL OF THE TEMPORARY ASPHALT WILL BE BORNE BY THE CONTRACTOR.

- EROSION CONTROL:**
- WHERE NATIVE GRADES ARE SUCH THAT CROSS SITE RUNOFF CAN OCCUR FROM SUBJECT SITE TO ADJACENT LANDS, CONTRACTOR TO PROVIDE A GRADE EARTHEN BERM OR POLY DIKE ALONG THE PROPERTY LINES TO CONTAIN CONSTRUCTION SITE WATER FROM WASHOUTS OR SILT TRANSMISSION DURING CONSTRUCTION PERIOD OR UNTIL FINAL SURFACING IS COMPLETE.



- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS OR OMISSIONS TO THE ENGINEER PRIOR TO PROCEEDING WITH ANY WORK ON THIS PROJECT. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ENGINEER.
 - THESE DRAWINGS AND SPECIFICATIONS ARE DESIGNED SOLELY FOR THE CLIENT AND THE PROPERTY INDICATED, AND SHALL NOT BE CONSTRUCTED FOR ANY OTHER CLIENT AND (OR) ON ANY OTHER PROPERTY.
 - REPRODUCTION OF THESE DRAWINGS, SPECIFICATIONS, AND RELATED DOCUMENTS IN WHOLE OR IN PART IS PROHIBITED WITHOUT PRIOR WRITTEN PERMISSION OF T.W. GRAY AND ASSOCIATES ENGINEERING LTD.

Stamp	#BASE PLAN AND TOPOGRAPHIC SURVEY COMPLETED BY MONTEITH AND SUTHERLAND LTD.	#PROPOSED GRADING DESIGN COMPLETED BY T.W. GRAY ENGINEERING	Scale Plan	Design B. KELCH	LAMBTON KENT DISTRICT SCHOOL BOARD SARNIA, ONTARIO	Project No. 15-6278
	801 Upper Canada drive Sarnia, Ontario N7W 1A3 Tel.: (519) 542-4300 www.mssurvey.com Ontario Land Surveyors • Professional Engineers • Aerial Surveying • Mapping • HDS Surveying	T. W. GRAY & ASSOCIATES ENGINEERING LIMITED 301 FRONT STREET N, SARNIA, ONTARIO N7T 556 PHONE: (519) 336-0486 FAX: (519) 336-5379	1:200	Drawn B. KELCH		Dug File: 6278 SP
				Checked G.C. BLADON	PROPOSED GRADING OF JOHN FISHER SCHOOL OVERALL SITE PLAN	Drawing No. SP
				Date APRIL 2015		



LANDSCAPE PLAN
SCALE = 1:400

PLANT MATERIAL

KEY	COMMON NAME	BOTANICAL NAME	QTY	SIZE	COND
Sb	ANTHONY WATERER SPIREA	<i>Spiraea banaldii</i> 'Anthony Waterer'	11	60cm	POT

GENERAL PLANTING SPECIFICATIONS

- BASE INFORMATION SUPPLIED BY SCCDBB & RANDY WILSON ARCHITECTS
- CONTRACTORS MAKE THEMSELVES FAMILIAR WITH ALL RELATED SPECIFICATIONS.
- CONTRACTORS ARE RESPONSIBLE FOR REVIEW OF ALL SPECIFICATIONS AND RELATED DRAWINGS WITH SELECTED SUB-CONTRACTORS AS THEY PERTAIN TO WORK AS OUTLINED ON LANDSCAPE ARCHITECTURAL WORKING DRAWINGS AND SPECIFICATIONS.
- REPORT ALL DISCREPANCIES TO THE LANDSCAPE ARCHITECT DURING TENDERING PROCESS. ERRORS AND/OR OMISSIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL MAINTAIN ALL LANDSCAPED AREAS UNTIL OWNER ACCEPTANCE OF PROJECT. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IN WRITING ON COMPLETION OF PROJECT FOR A SITE WORK COMPLETION CERTIFICATE AS WELL AS THE COMMENCEMENT OF THE ACCEPTANCE OF PROJECT.
- ALL WORKMANSHIP TO BE WARRANTED FOR ONE YEAR UNLESS OTHERWISE STATED. WARRANTY PERIOD WILL BEGIN ON FINAL ACCEPTANCE OF PROJECT.
- ALL WORKMANSHIP TO THE STANDARDS OF THE ONTARIO LANDSCAPE ASSOCIATION AND THE LANDSCAPE ONTARIO SPECIFICATION STANDARDS.
- ALL NURSERY STOCK TO BE "NURSERY GROWN AND MUST COMPLY WITH 'GUIDE SPECIFICATION FOR NURSERY STOCK OF THE CANADIAN NURSERY TRADES ASSOCIATION'."
- ALL LANDSCAPING IS TO BE INSTALLED PRIOR TO THE END OF THE FIRST GROWING SEASON FOLLOWING THE OCCUPANCY OF THE SITE DEVELOPMENT UNLESS OTHERWISE STATED.
- CONTRACTOR IS RESPONSIBLE FOR ALL UNDERGROUND UTILITIES AND MUST SUPPLY THE LANDSCAPE ARCHITECT WITH COPIES OF LOCATE CERTIFICATES PRIOR TO COMMENCEMENT OF WORK.

- GRADING -**
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE IN ALL AREAS.
 - ALL GRADING TO BE IN ACCORDANCE WITH SITE ENGINEERS DRAWINGS.
 - SOIL SHALL BE SCARIFIED FREE OF ALL STONES, ROOTS, BRANCHES LARGER THAN 1" (25MM) AND COMPACTED TO 85% S.P.D.
 - ALL SUBSOIL TO BE SCARIFIED TO A DEPTH OF 6" (150MM) PRIOR TO THE INSTALLATION OF TOPSOIL TO ENSURE NO HARDSHIP CONDITIONS.
 - CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF TOPSOIL TO APPROVE SUBBASE.
 - DIRECT ALL RAINLEADERS AND SUMP LEADERS AWAY FROM PLANTING BEDS AND TO THE DESIGNATED SWALES.
 - NOTIFY LANDSCAPE ARCHITECT IN WRITING OF ANY SUBSTANTIAL WET CONDITIONS.
- TOPSOIL -**
- AT THE CONTRACTORS EXPENSE A SOIL TEST IS TO BE COMPLETED BY A REPUTABLE LABORATORY. THE SOIL TEST IS TO BE COMPLETED AND IF NECESSARY, RECOMMENDATIONS FROM THE LABORATORY ARE TO BE INCLUDED. THE RESULTS OF SOIL TESTS AND RECOMMENDATIONS ARE TO BE PROVIDED TO THE LANDSCAPE ARCHITECT FOR APPROVAL ONE WEEK PRIOR TO WORK COMMENCING.
 - TOPSOIL FOR PLANTING BEDS IS TO BE A FERTILE, FRIABLE, NATURAL LOAM TO A MINIMUM DEPTH OF 1" (300MM) AND A MINIMUM DEPTH OF 4" (100MM) FOR TURF AREAS - UNLESS OTHERWISE STATED - TOPSOIL SHALL CONTAIN NOT LESS THAN 4% ORGANIC MATTER FOR CLAY LOAMS AND NOT LESS THAN 6% ORGANIC MATTER FOR SANDY LOAM TO A MAXIMUM OF 3% AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH FREE OF SUBSOIL CONTAMINATION, ROOTS AND STONES OVER 50MM DIAMETER, REASONABLY FREE OF WEEDS, AS DETERMINED BY THE LANDSCAPE ARCHITECT, AND HAVING A pH RANGING FROM 6.0 TO 7.0.
- MULCH -**
- ALL TREEPITS, SHRUB PITS AND PLANTING AREAS ARE TO BE MULCHED UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO INSTALL 3" (75MM) OF GROUND-BARK MEDIUM MULCH IN ALL AREAS.
 - ALTERNATIVES MAY BE ACCEPTED - CONTRACTOR TO PROVIDE 3 SAMPLES FOR UNWRITTEN APPROVAL TO THE LANDSCAPE ARCHITECT.

- PLANT MATERIALS -**
- CONTRACTOR TO VERIFY ALL PLANT MATERIAL ON DRAWING(S) AND PLANT MATERIAL LIST(S). REPORT ALL DISCREPANCIES AT TENDERING PROCESS.
 - SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT WRITTEN CONFIRMATION BY THE LANDSCAPE ARCHITECT.
 - PLANTINGS MAY BE ADJUSTED TO SUIT UTILITIES STRUCTURES AND AESTHETIC CONCERNS. ADJUSTMENTS ARE TO BE MADE UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT. ADJUSTMENTS TO PLANTING WITHOUT CONSENT OF LANDSCAPE ARCHITECT AND/OR PROJECT MANAGER MAY NOT MEET INTENT OF DESIGN AND/OR MUNICIPAL APPROVALS. PLANT MATERIAL THAT HAS TO BE RELOCATED AS A RESULT WILL BE AT THE COST OF THE CONTRACTOR.
 - LANDSCAPE ARCHITECT TO INSPECT ALL PLANT MATERIAL ON SITE OR AT ITS SOURCE PRIOR TO INSTALLATION. CONTRACTOR IS TO GIVE LANDSCAPE ARCHITECT 48 HOURS NOTICE FOR INSPECTION.
 - CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IN WRITING IF ADVERSE WEATHER MAY IMPACT THE HEALTH OF THE PLANT MATERIALS AT TIME OF PLANTING. I.E. TEMPERATURE, PRECIPITATION.
 - ALL TREE PITS SHALL BE AT LEAST 2 FT. (600MM) WIDER THAN BALL OF THE TREE TO BE PLANTED AND SHALL BE DEEP ENOUGH SO THAT THE TOP OF BALL IS AT SAME LEVEL AS SURFACE GRADE. A MINIMUM OF 6" (150MM) OF BACKFILL SHALL BE PLACED UNDER BALL. TREE PITS ARE NOT TO BE LEFT OPEN OVER NIGHT.
 - SHRUB BEDS SHALL BE EXCAVATED TO A DEPTH OF 18" (450MM) AND FILLED WITH APPROVED BACKFILL MATERIAL. SHRUB BEDS ARE NOT TO BE LEFT OPEN OVER NIGHT.
 - ALL TREES SHALL HAVE AN EARTH SAUCER AT ITS BASE WITH A DIAMETER AS LARGE AS EXCAVATED AREA AND SHAPED TO RETAIN WATER (SEE DETAIL). EARTH SAUCER TO HAVE APPROVED MULCH INSTALLED TO A MINIMUM DEPTH OR 25" (630MM).
 - ALL BURLAP SHALL BE CUT AND BURIED BELOW SURFACE DURING PLANTING.
 - ALL EVERGREENS ARE TO BE WRAPPED THE FIRST WINTER AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR.
 - DIRECT ALL RAINLEADERS AND SUMP LEADERS AWAY FROM PLANTING BEDS AND TO DESIGNATED DRAINAGE SWALES.
 - DO NOT INSTALL PLANT MATERIAL IN DRAINAGE SWALES.
 - CONTRACTOR IS TO REMOVE ALL GUY WIRES AFTER 1 FULL GROWING SEASONS.

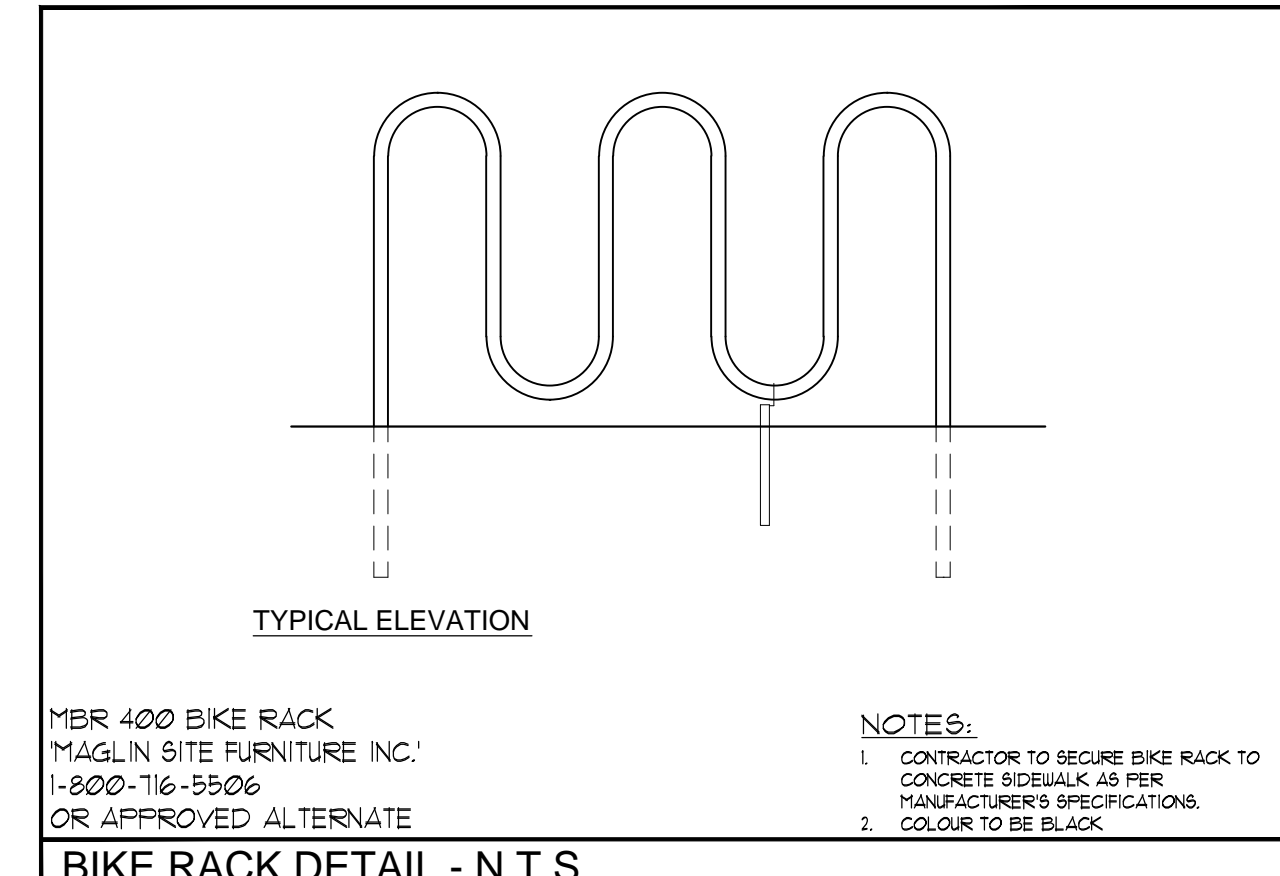
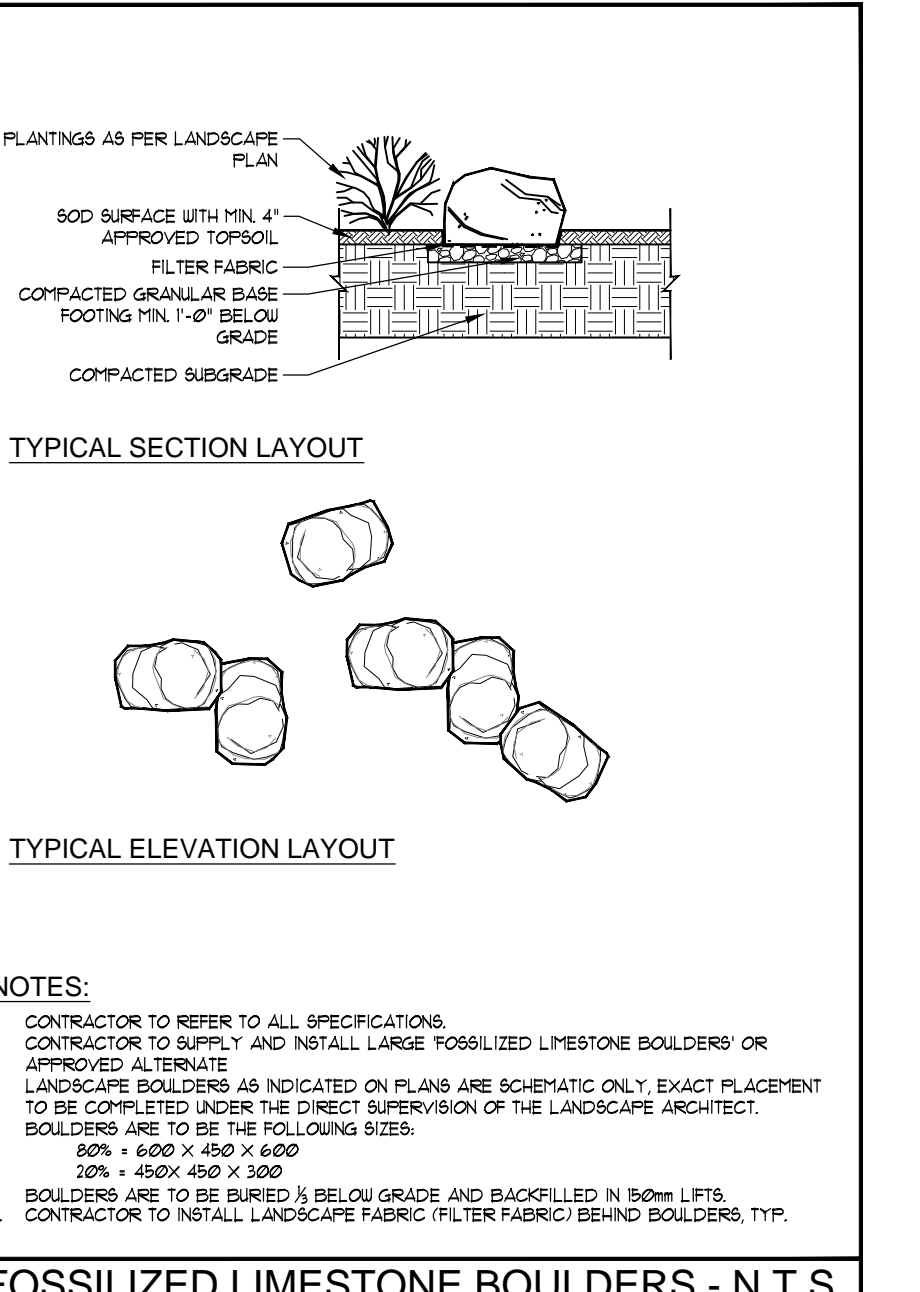
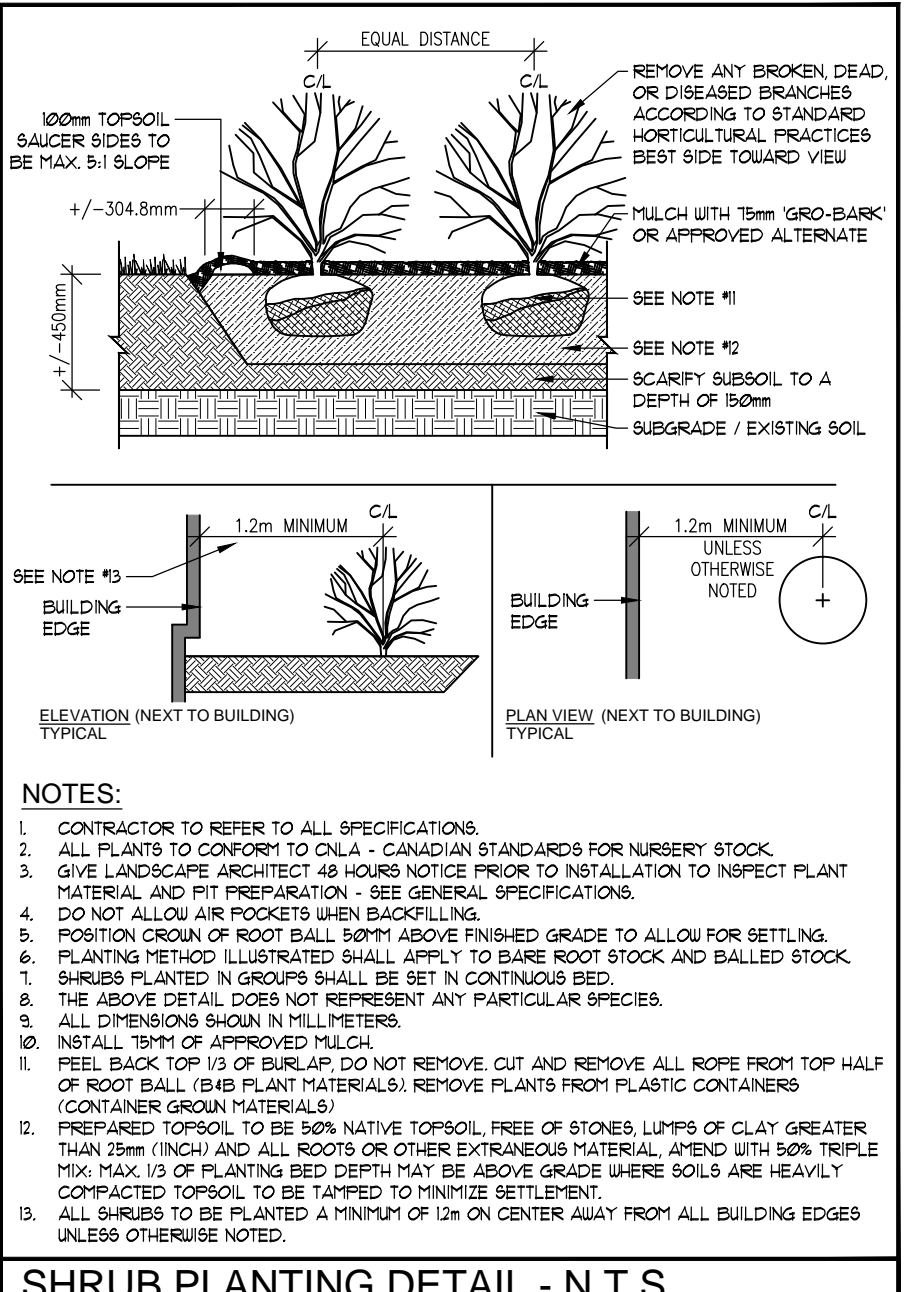
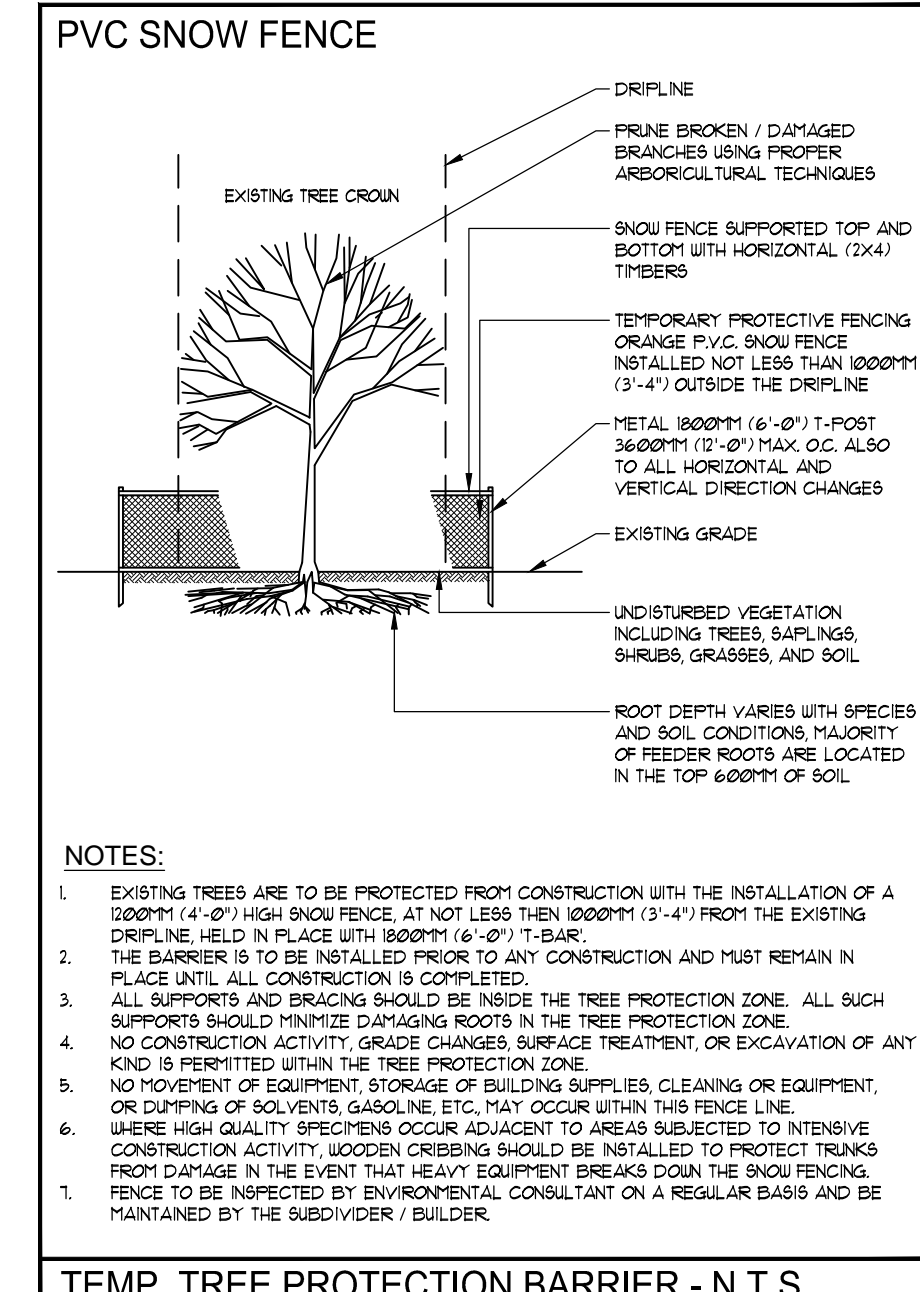
- SOD -**
- ALL LANDSCAPED AREAS TO BE SODDED TO THE STREET CURB (S) UNLESS OTHERWISE STATED.
 - CONTRACTOR TO INSURE (WHERE APPLICABLE) ALL PLANTING BEDS ADJACENT TO TRAFFIC ISLANDS, INTERIOR SITE CURBING, AND SIDEWALKS HAVE A 3"(75MM) SOD MAINTENANCE STRIP INSTALLED.
 - ANY SODDING OR WORKS ON LANDS ADJUTING THE PROPERTY FROM THE LOT LINES TO SIDEWALK AND CURBING SHALL BE COMPLETED OR REPAIRED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT, CITY, AND/OR REGIONAL MUNICIPALITY UNLESS OTHERWISE STATED.
 - SOD SHALL BE CERTIFIED #1 CULTIVATED TURF GRASS GROWN AND SOLD IN ACCORDANCE WITH THE CLASSIFICATIONS OF THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO. AT THE TIME OF SALE IT SHALL HAVE A STRONG FIBROUS ROOT SYSTEM AND SHALL BE CUT IN PIECES APPROXIMATELY ONE SOD (300 MM) IN AREA WITH THE SOIL PORTION BEING 3/4" (19MM).
 - SOD TO BE FERTILIZED AT THE APPROPRIATE RATES AS INDICATED BY SOIL TESTS COMPLETED BY A REPUTABLE SOILS LABORATORY.
 - UPON INSTALLATION AREAS SHOULD BE WATERED SO AS TO SATURATE SOD AND THE UPPER 4" (100MM) OF BACKFILL. TOPSOIL AFTER SOD AND SOIL HAVE DRIED SUFFICIENTLY TO PREVENT DAMAGE, IT SHALL BE ROLLED WITH A ROLLER PROVIDING 1500 LBS. (68KG) PRESSURE PER SQ. FT.
 - CONTRACTOR TO REPAIR ALL DAMAGED AREAS TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND/OR CLIENT.

- DECORATIVE 'ROCKERY' STONE -**
- CONTRACTOR TO SUPPLY AND INSTALL LARGE LIMESTONE APPROX STONE OR APPROVED ALTERNATE. LANDSCAPE BOULDERS AS INDICATED ON PLANS ARE SCHEMATIC ONLY - EXACT PLACEMENT TO BE COMPLETED UNDER THE DIRECT SUPERVISION OF THE LANDSCAPE ARCHITECT. BOULDERS ARE TO BE OF THE FOLLOWING SIZING:
 - 10% - 500 X 600 X 600
 - 10% - 1000 X 600 X 600
 - 10% - 600 X 600 X 600
 - BOULDERS ARE TO BE OF THE FOLLOWING SIZES:
 - 10% - 600 X 450 X 300
 - 10% - 450 X 450 X 300
 - BOULDERS ARE TO BE BURIED 3/8 BELOW GRADE AND BACKFILLED IN 180MM LIFTS. CONTRACTOR TO INSTALL LANDSCAPE FABRIC (FILTER FABRIC) BEHIND BOULDERS, TYP.
 - CONTRACTOR TO INSTALL LANDSCAPE FABRIC (FILTER FABRIC) BEHIND BOULDERS, TYP.

TREE PRESERVATION DETAILS

- RECOMMENDATIONS**
- A. PRE CONSTRUCTION RECOMMENDATIONS
- THE FOLLOWING PRACTICAL RECOMMENDATION ARE MADE TO ENHANCE THE SURVIVAL POTENTIAL OF THE TREES TO BE RETAINED ON SITE.
 - PRIOR TO TREE REMOVAL OPERATIONS, THE LIMIT OF THE REMOVALS WILL BE CLEARLY MARKED (I.E. ALL TREES DESIGNATED FOR REMOVAL TO BE MARKED WITH SPRAY PAINT).
 - TREES ON THE SITE THAT SHOULD BE RETAINED FOR SILVICULTURAL, SAFETY AND AESTHETIC REASONS SHOULD ALSO BE MARKED FOR CUTTING (IE SPRAY PAINT) DURING THE OVER ALL TREE CLEARING OPERATION. ANY CUTTING SHOULD BE ENCOURAGED TO TAKE PLACE PRIOR TO THE END OF APRIL OR AFTER SEPTEMBER. ALL CUTTING WILL BE DONE BY CHAINSAW.
 - CARE SHOULD BE TAKEN DURING THE FELLING OPERATION TO AVOID DAMAGING THE BRANCHES, STEMS, AND ROOTS OF THE TREES TO BE RETAINED. WHERE POSSIBLE ALL TREES ARE TO BE FELLED TOWARDS CONSTRUCTION TO MINIMIZE IMPACTS TO ADJACENT VEGETATION.
 - STEM DAMAGE TO TREES FROM SKIDDING OPERATIONS DURING THE REMOVAL PROCESS SHOULD BE AVOIDED. TRUNKS OF TREES TO BE RETAINED NEAR THE CONSTRUCTION ZONE SHOULD BE WRAPPED WITH TREE LAYERS OF SNOW FENCING TO PROVIDE PROTECTION.
 - HEAVY EQUIPMENT SHOULD NOT BE ALLOWED UNDER THE DRIP LINE (LIMIT OF BRANCHES) OF THE TREES TO BE RETAINED.
 - BROKEN BRANCHES ON TREES TO BE RETAINED SHOULD BE CLEANLY CUT BY A QUALIFIED ARBORIST/HORTICULTURALIST AS SOON POSSIBLE AFTER THE DAMAGE OCCURS.
 - FINAL SITE GRADING SHOULD ENSURE THAT SURFACE WATER IS DISCHARGED FROM THE SITE AND THE EXISTING SOIL MOISTURE CONDITIONS ARE MAINTAINED.
 - IT IS RECOMMENDED THAT THE EXISTING GROUND LAYER VEGETATION REMAIN INTACT AS NOT TO DISTURB THE VIRGIN SOIL AROUND THE BASE OF THE EXISTING TREES.

- B. RECOMMENDATIONS RELATED TO THE CONSTRUCTION PROCESS
- SNOW FENCING IS TO BE MAINTAINED UNTIL ALL HEAVY CONSTRUCTION WORK IS COMPLETE. NO MOVEMENT OF EQUIPMENT OR DUMPING OF SOLVENTS, GASOLINE, ETC. MAY OCCUR WITHIN THIS FENCE LINE.
 - WHERE HIGH QUALITY SPECIMENS OCCUR ADJACENT TO AREAS SUBJECT TO INTENSIVE CONSTRUCTION ACTIVITY, WOODEN CRIBBING (IE FLANKS AND OR PLYWOOD CONSTRUCTION) SHOULD BE ERRECTED TO PROTECT THEIR TRUNKS FROM DAMAGE IN THE EVENT THAT HEAVY EQUIPMENT BREAKS DOWN THE SNOW FENCING.
 - DURING THE EXCAVATION PROCESS, ROOTS THAT ARE SEVERED AND EXPOSED SHOULD BE HAND PRUNED TO LEAVE A CLEAN CUT SURFACE. THIS WILL REDUCE THE OPPORTUNITY FOR PESTS OR DISEASE TO ENTER THROUGH THE WOUNDS.
 - IF GRADE CHANGES ARE REQUIRED IN AREAS ADJACENT TO TREES TO BE RETAINED, WORK SHOULD BE DONE TO MINIMIZE IMPACTS TO THE TREES. TREE WELLS, RETAINING WALLS OR OTHER SITE FEATURES SHOULD BE USED.
 - AVOID RUNNING ABOVE GROUND WATERS AND UNDERGROUND SERVICES NEAR TREES TO BE RETAINED.
 - FORM CONCRETE WORK WITH FIBER EXPANSION MATERIAL IN PLACE OF WOOD FORMS WHERE ROOTS CONFLICT.
- C. POST CONSTRUCTION RECOMMENDATIONS
- AFTER CONSTRUCTION, A QUALIFIED ARBORIST / HORTICULTURALIST SHOULD DEEP ROOT FEED AND PRUNE ALL TREES THAT WERE RETAINED.
 - AVOID DISCHARGING RAIN WATER LEADERS ADJACENT TO RETAINED TREES. THIS MAY CAUSE AN OVERLY MOIST ENVIRONMENT WHICH WILL CAUSE THE TREE ROOTS TO ROT.
 - AFTER ALL WORK IS COMPLETED, SNOW FENCES AND OTHER BARRIERS SHOULD BE REMOVED.
 - A FINAL REVIEW MUST BE UNDERTAKEN BY A QUALIFIED ENVIRONMENTAL CONSULTANT TO ENSURE THAT ALL MITIGATION MEASURES AS DESCRIBED ABOVE HAVE BEEN MET.



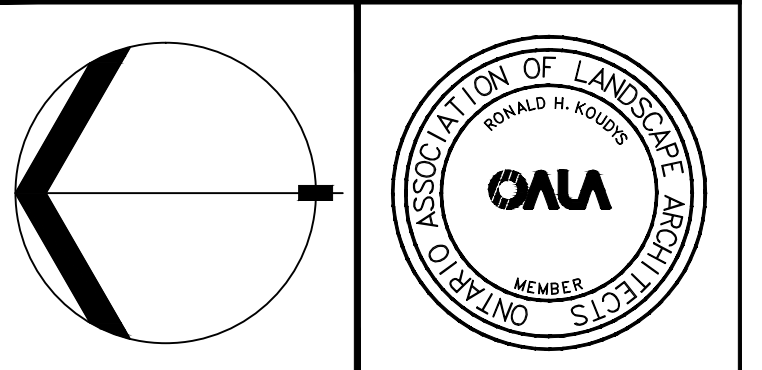
ALL DRAWINGS REMAIN THE PROPERTY OF THE LANDSCAPE ARCHITECT AND SHALL NOT BE REPRODUCED OR REUSED WITHOUT THE LANDSCAPE ARCHITECTS WRITTEN PERMISSION.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION OR TENDER PURPOSES UNLESS SIGNED AND DATED BY RONALD H. KOUDYS, O.A.L.A. C.S.L.A. LANDSCAPE ARCHITECT, LONDON, ONTARIO (519) 667-3322.

Ronald H. Koudys, O.A.L.A. C.S.L.A. DATE

DATE	DESCRIPTION	No.

PLOTTING INFORMATION
PLOTTED DATE + MAY 2015
PLOTTED SCALE + 1:1



PROJECT TITLE: 632 ST. JOHN FISHER C.S. 44 MAIN STREET NORTH FOREST, ON

DRAWING TITLE: LANDSCAPE PLAN

DATE: APRIL 2015	SCALE: AS NOTED	DRAWING No. L-1
DRAWN: RCL/Inc.	CHECKED BY: R.H.K.	
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